

Report to the Future Melbourne Committee

Agenda item 6.2

**Planning Permit Application: TP-2020-98
138-144 Elgin Street, Carlton**

6 July 2021

Presenter: Larry Parsons, Head of Statutory Planning**Purpose and background**

1. The purpose of this report is to advise the Future Melbourne Committee of an application to construct an additional level to the existing three storey serviced apartment building at 138 – 144 Elgin Street, Carlton (Refer to Attachment 2, Locality Plan).
2. The applicant is Lonam Pty Ltd, the owners are M & S Steinberg and the architects are Edmond Corrigan Pty Ltd.
3. The Site is located on the north side of Elgin Street, between Rathdowne and Drummond Streets, Carlton.
4. The site is located in the Commercial 1 Zone, Heritage Overlay Schedule 1 and Parking Overlay Schedule 12.
5. The application seeks to construct an additional level on the existing building, built to the side and rear boundary and set back 8.1m from Elgin Street. There is no change in the maximum overall height, as the addition is slightly lower (48.68RL) than the existing stairwell (48.82RL), but is wider across the site. The additional level will contain 10 serviced apartments.
6. Public notice of the proposal has been undertaken and a total of 28 objections have been received, relating to potential amenity and traffic impacts, as well as the relationship to the heritage context.
7. A Section 79 appeal against Council's Failure to determine the application within the prescribed time has been lodged by the permit applicant. Six statements of grounds have been lodged by objectors to the planning permit application.

Key issues

8. The proposed extent of demolition is acceptable and limited to non-original elements of the building (roof, deck and stairwell) and will therefore have no impact on the significance of the heritage place and appropriately respond to the demolition policy pursuant to Clause 22.05 of the Scheme.
9. The proposed addition complies with the policy guidance for additions pursuant to Clause 22.05. The proposed addition is physically separated from the western adjacent significant building and will continue to allow oblique views of the roof form and chimneys of the significant place.
10. The proposed maximum overall height of the building will not increase, however the extent of built form will extend across the width of the site. It is considered that the proposed 8.1m front setback will not dominate the host building or adjacent significant and contributory buildings.
11. The proposed wide windows would detract from the character of the existing building and streetscape. Included in the draft conditions provided to the Tribunal will be a requirement to reduce the width of each of the windows to provide a more contextual response, to the satisfaction of the Responsible Authority.
12. The proposal provides an acceptable response to the northern residential interface. Due to the orientation of the site and the separation of more than 9m between the proposal and the existing building to the north and north-west, the proposal will not result in any unreasonable overlooking and no overshadowing impacts.

Recommendation from management

13. That the Future Melbourne Committee resolves that if the application had not been referred to VCAT, Council would have issued a Notice of Decision to Grant a Permit subject to the conditions outlined in the Delegate Report (refer Attachment 4 of the report from management).

Attachments:

1. Supporting Attachment (Page 2 of 69)
2. Locality Plan (Page 3 of 69)
3. Selected Plans (Page 4 of 69)
4. Delegate Report (Page 57 of 69)

Supporting Attachment

Legal

1. Division 1 of Part 4 of the *Planning and Environment Act 1987* (the Act) sets out the requirements in relation to applications for permits pursuant to the relevant planning scheme.
2. An application under section 79 of the Act has been lodged for review against the failure to grant a planning permit within the prescribed time. The responsible authority must advise all parties to the appeal whether Council would have either granted a permit or refused to grant a permit had an appeal not been lodged. The responsible authority must not issue a permit to the applicant until the application is determined by the VCAT.

Finance

3. There are no direct financial issues arising from the recommendations contained in this report.

Conflict of interest

4. No member of Council staff, or other person engaged under a contract, involved in advising on or preparing this report has declared a material or general conflict of interest in relation to the matter of the report.

Health and Safety

5. Relevant planning considerations relating to health and safety have been considered within the planning permit application and assessment process, noting the proposal seeks to add further works to an existing permit and approved land use.

Stakeholder consultation

6. Public notice of the application has been undertaken to surrounding owners and occupiers, pursuant to Section 52 of the Act.

Relation to Council policy

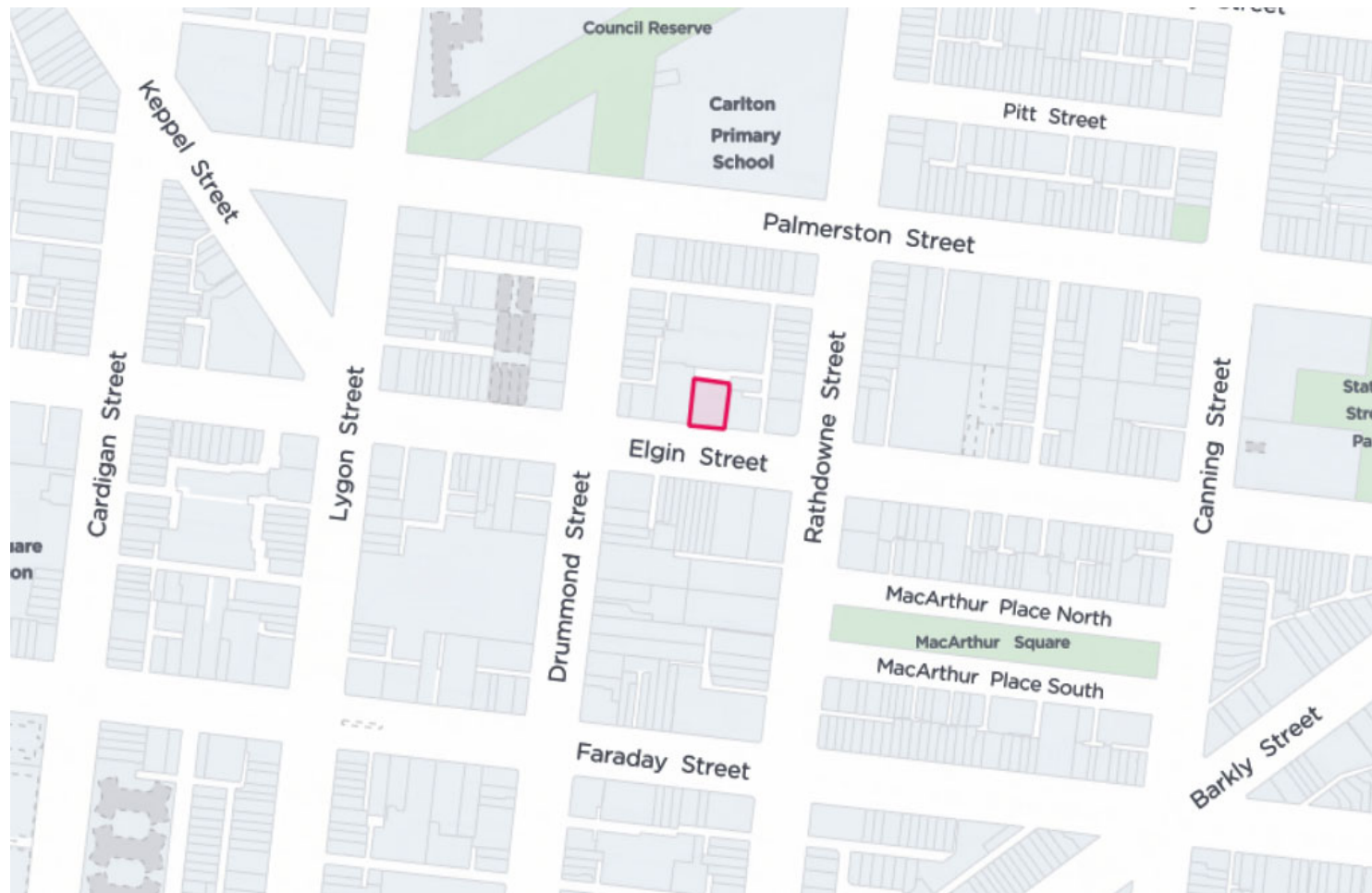
7. Relevant Council policies are discussed in the attached Delegate Report (refer Attachment 4)

Environmental sustainability

8. Environmental sustainability provisions of the Melbourne Planning Scheme have been considered in the assessment of this planning application given and include appropriate permit conditions to secure an acceptable ESD outcome.

Locality Plan

138-144 Elgin Street, Carlton



**PROPOSED ADDITIONS TO
138-144 ELGIN STREET, CARLTON**

PLANNING PERMIT APPLICATION

TO

THE CITY OF MELBOURNE

JANUARY 2020

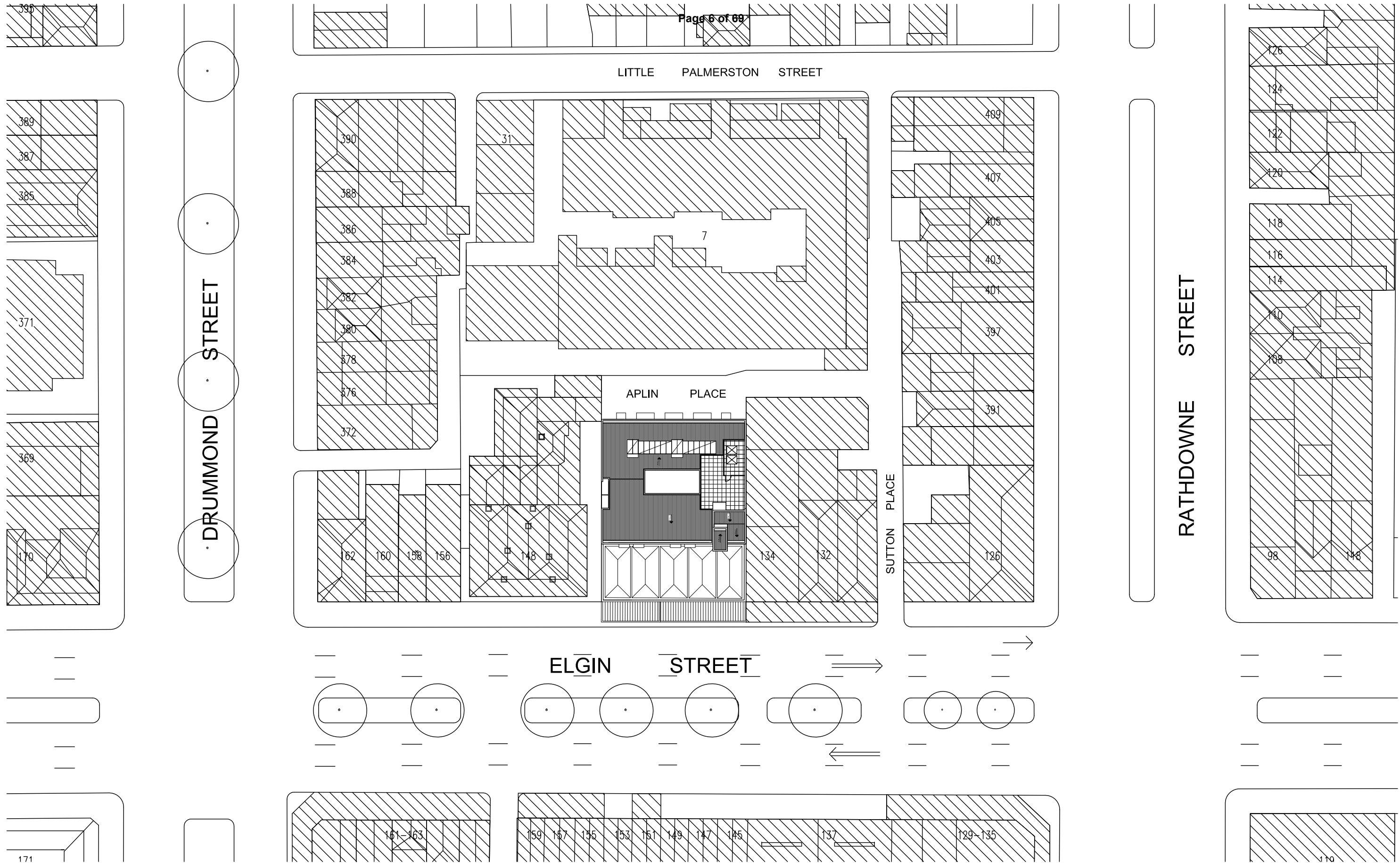
Edmond & Corrigan Pty. Ltd.
Architecture & Design
676 Drummond Street
Carlton North
Victoria
Australia 3054

9662 2651 (T)

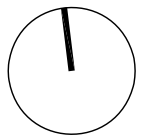
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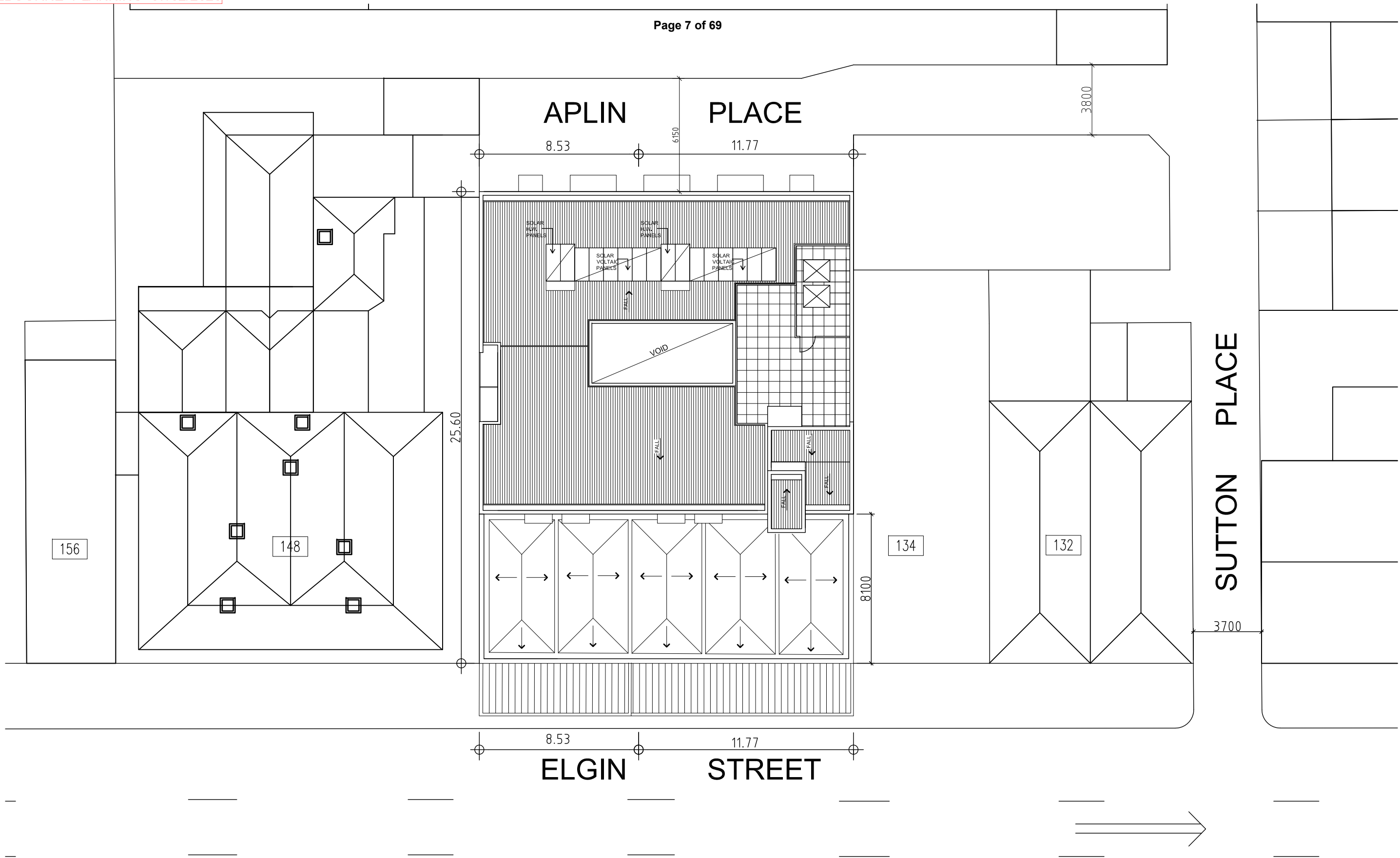
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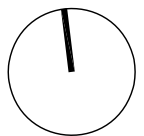


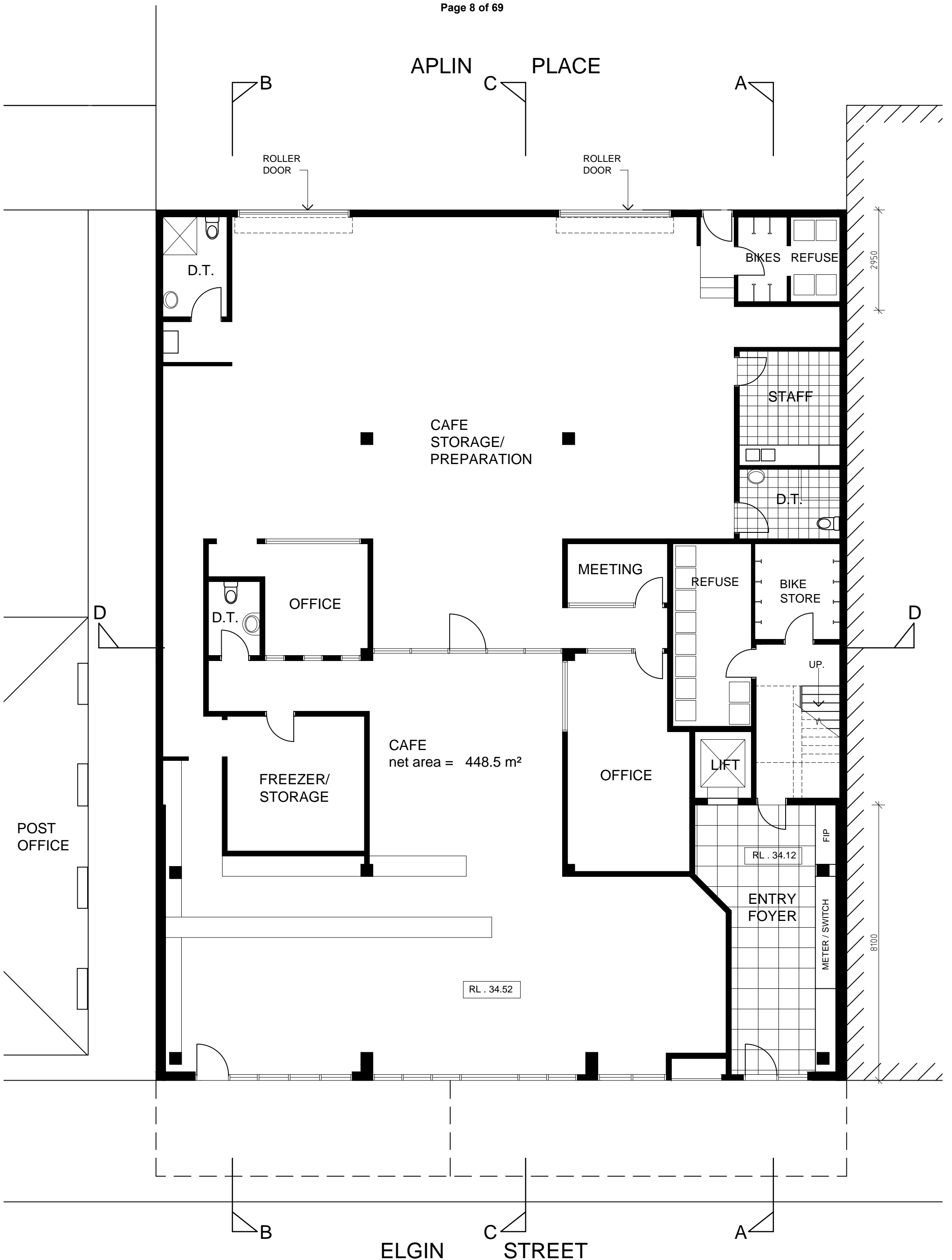
LOCATION PLAN (EXISTING)
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LOCATION PLAN (EXISTING) (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au		TP/01
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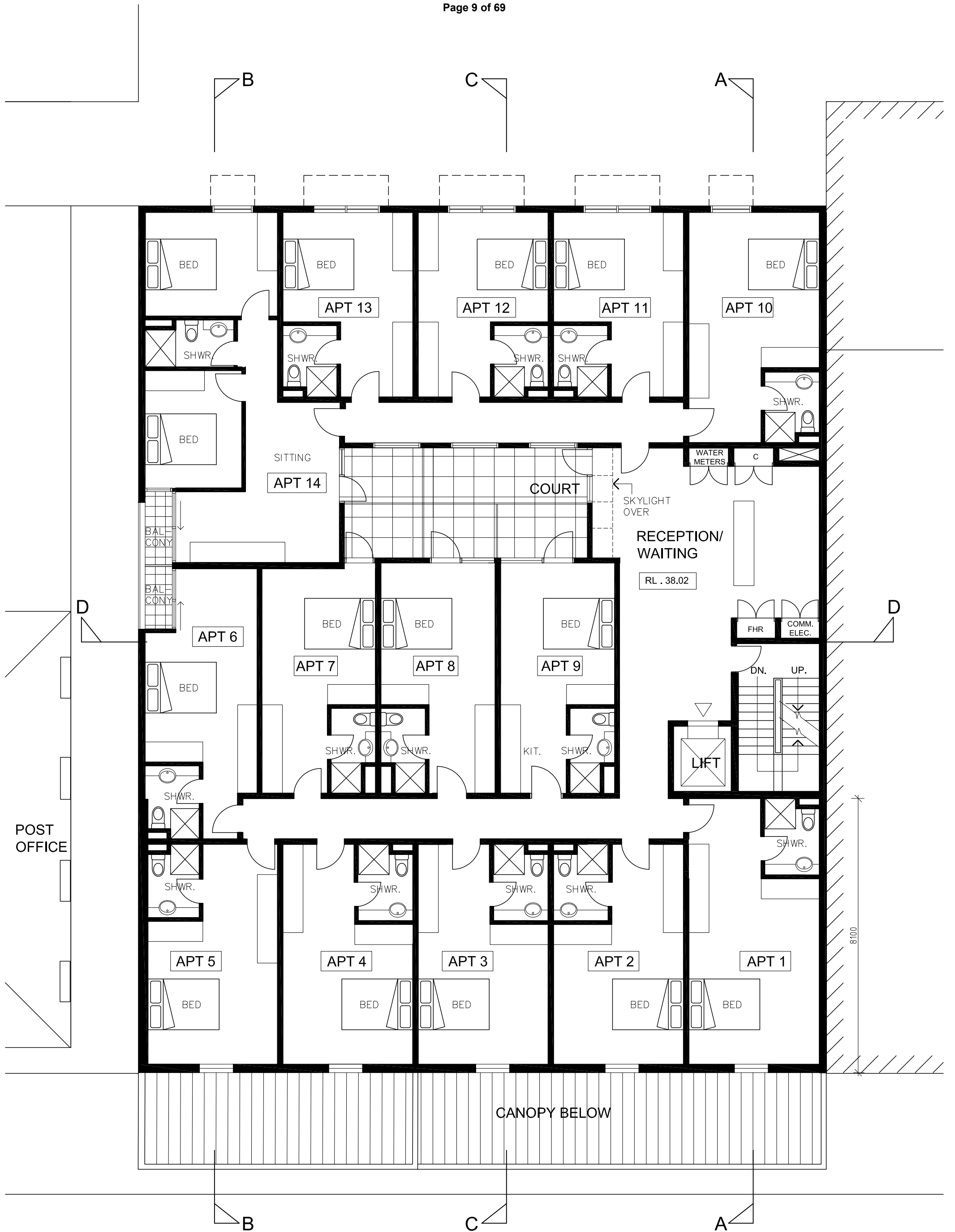


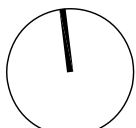
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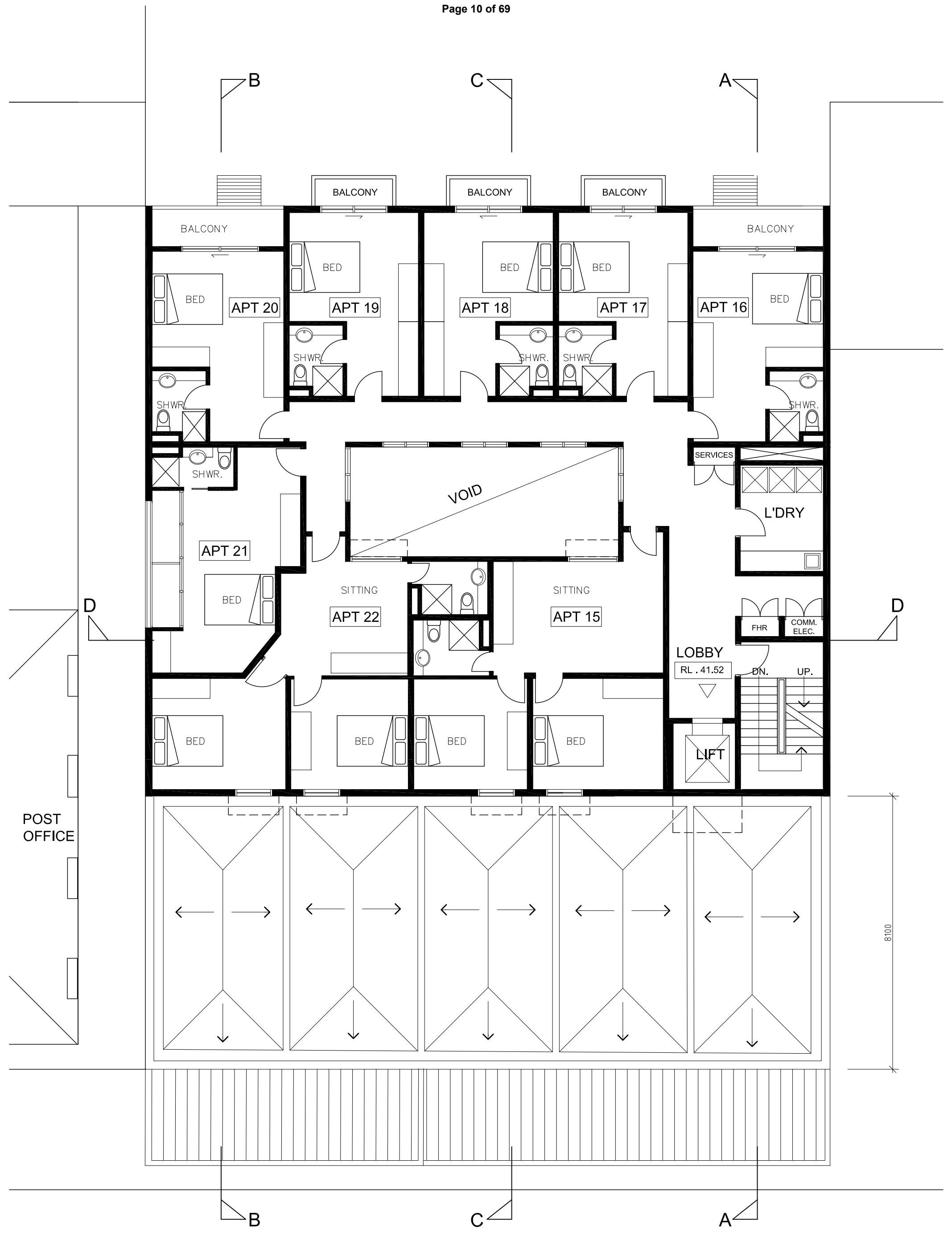
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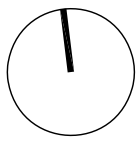


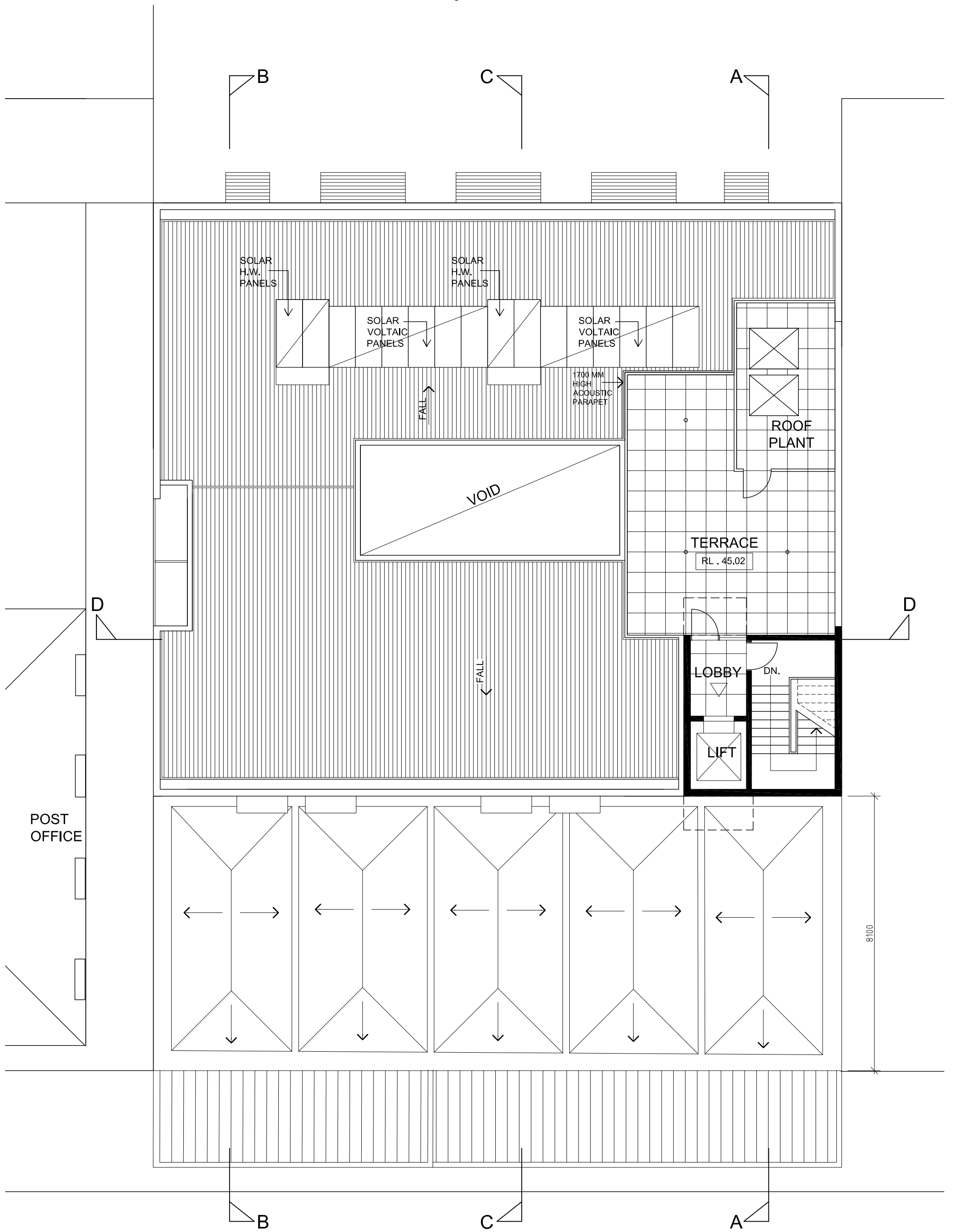
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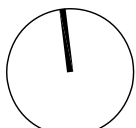


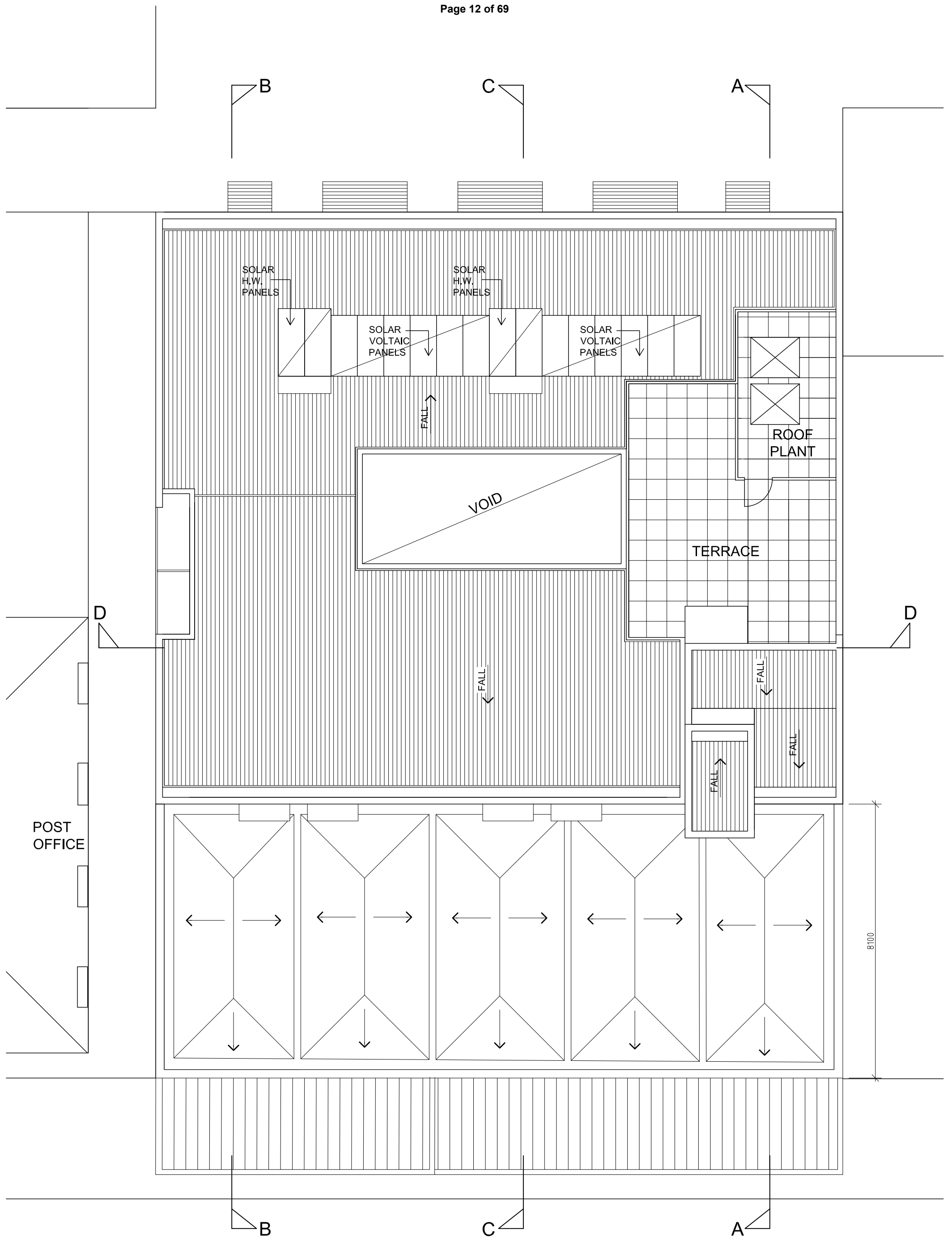
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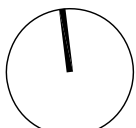


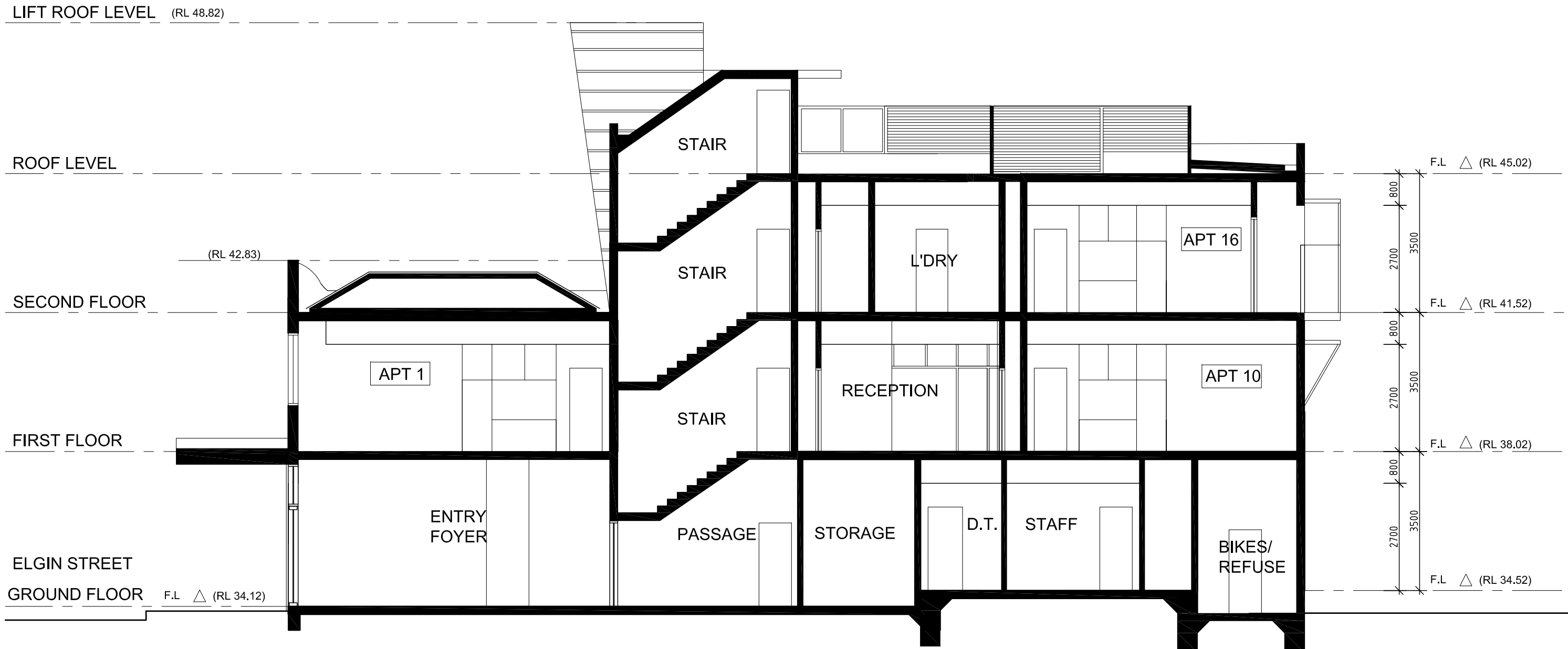
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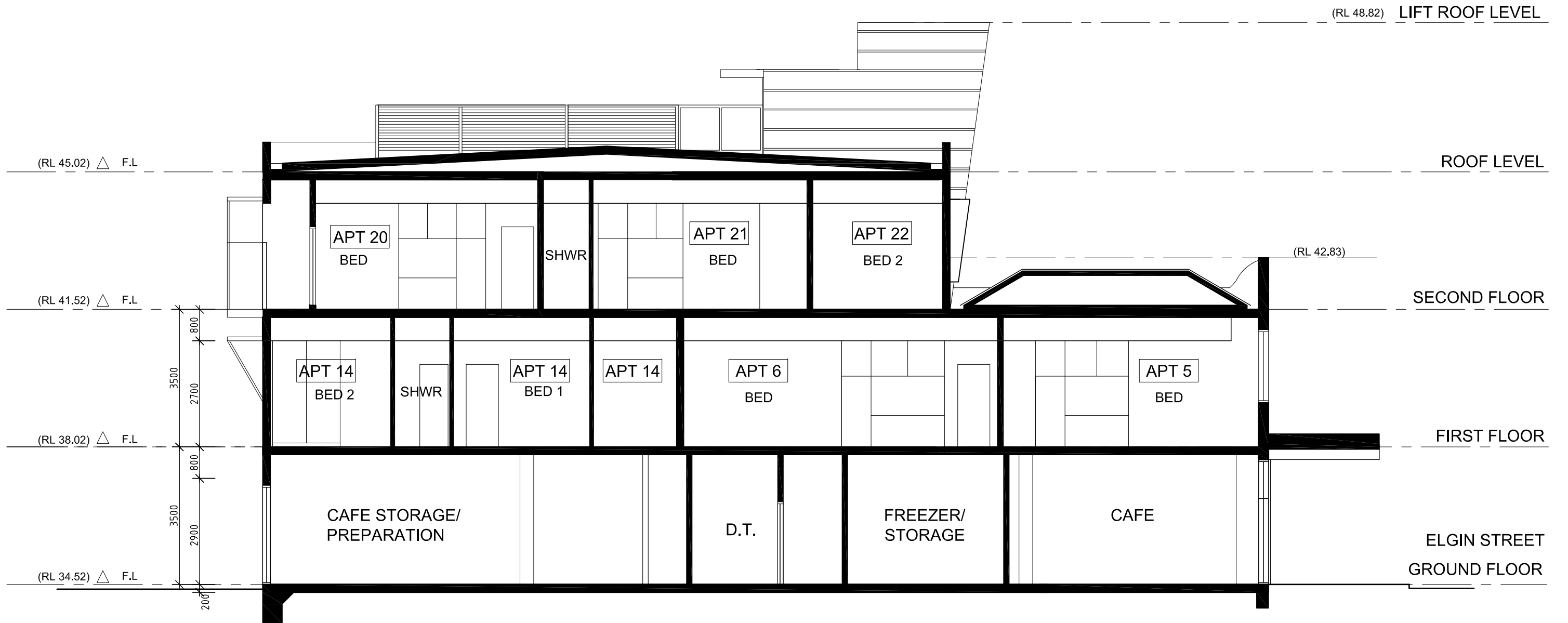


EXISTING ROOF PLAN (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au		TP/07
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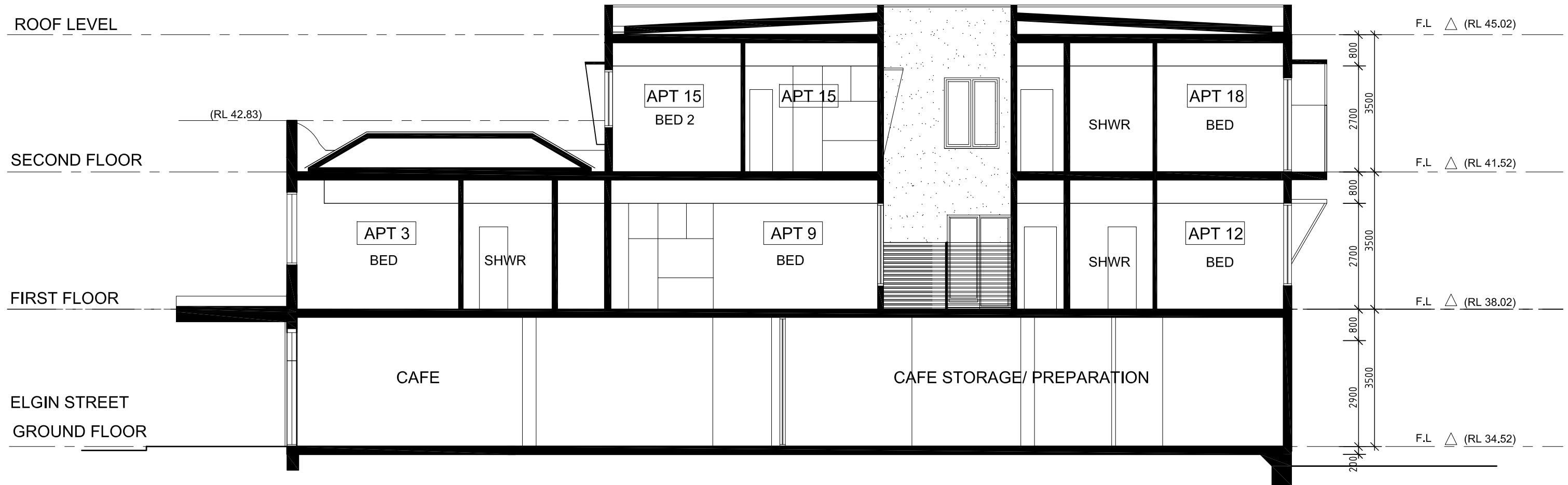
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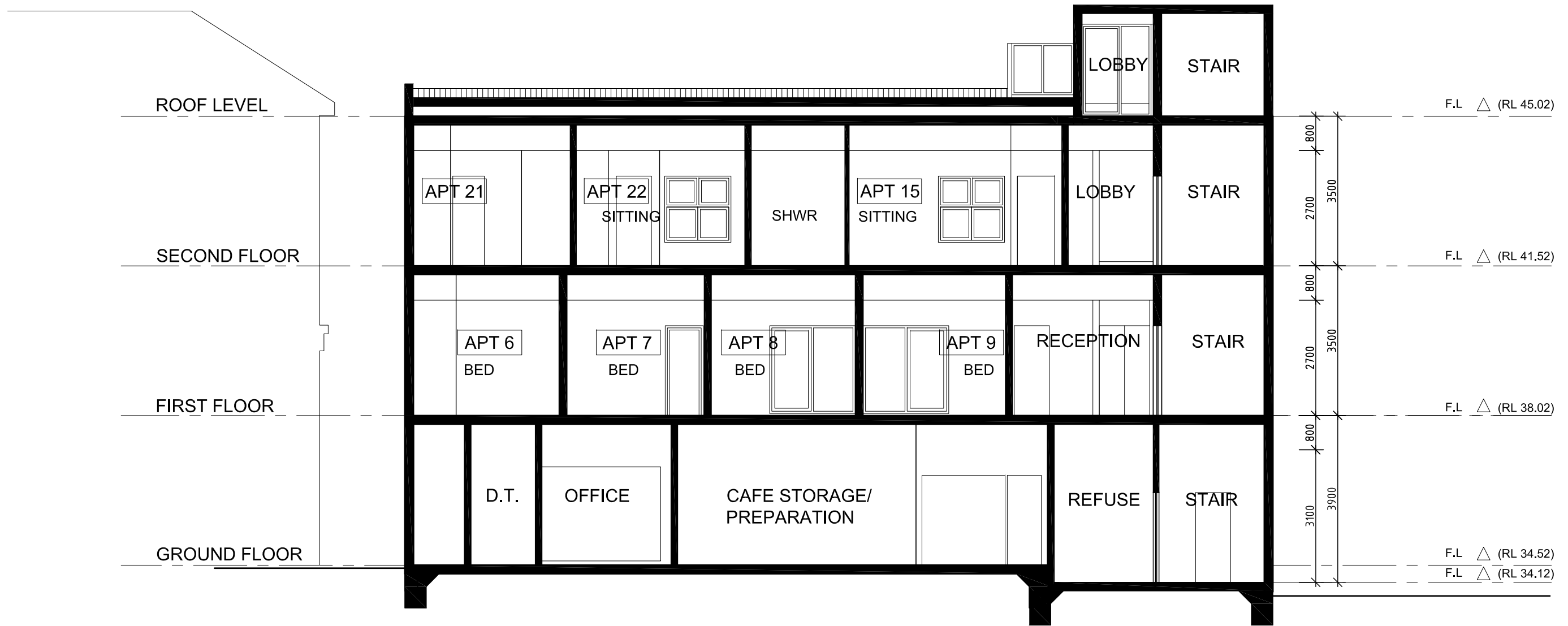
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EXISTING SECTION C-C
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EXISTING SECTION D-D
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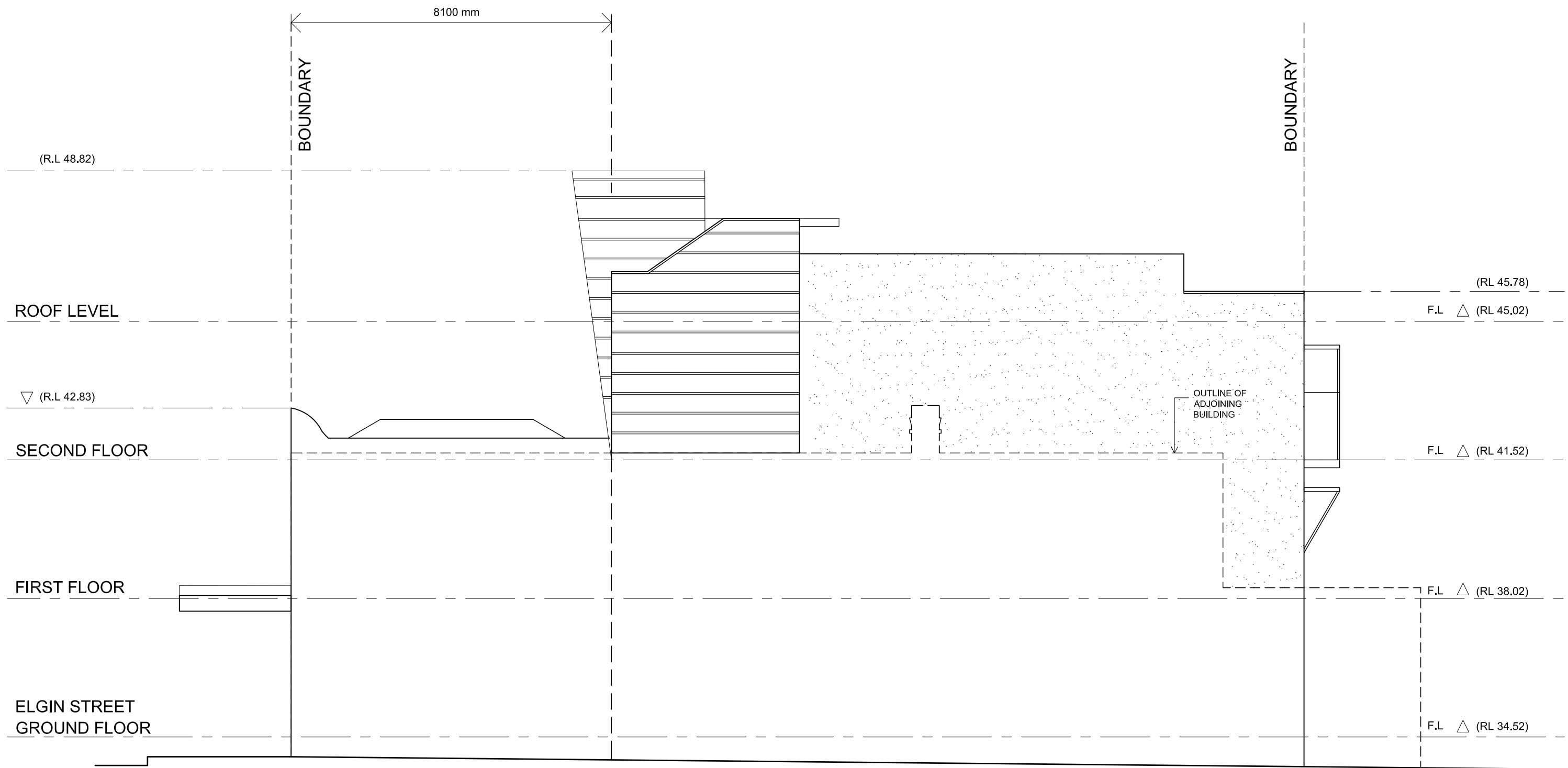
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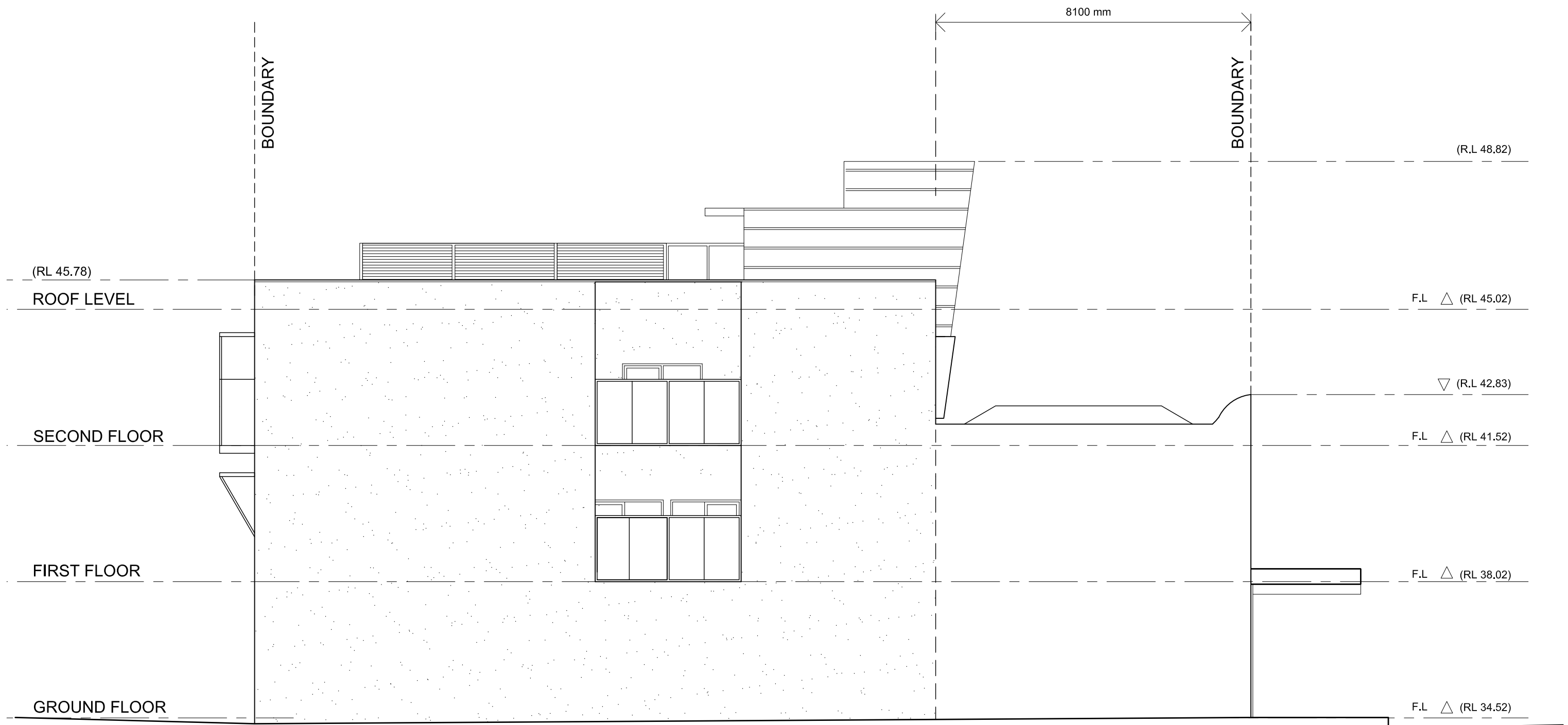
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EXISTING EAST ELEVATION
SCALE 1:100


EXISTING EAST ELEVATION (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/14
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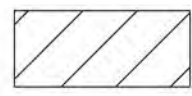


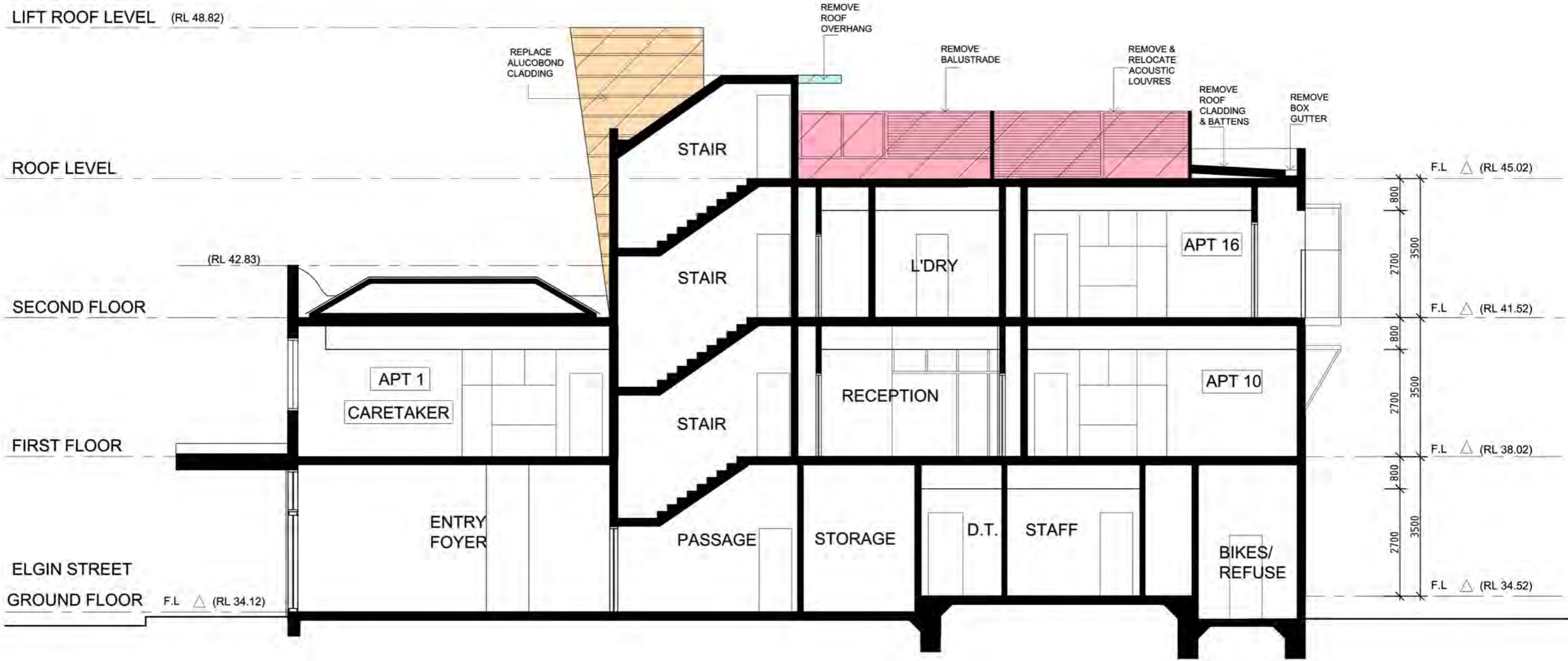
EXISTING WEST ELEVATION
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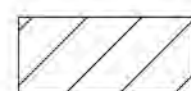


DEMOLITION ROOF PLAN (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au		TP/16
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 EXTENT OF DEMOLITION

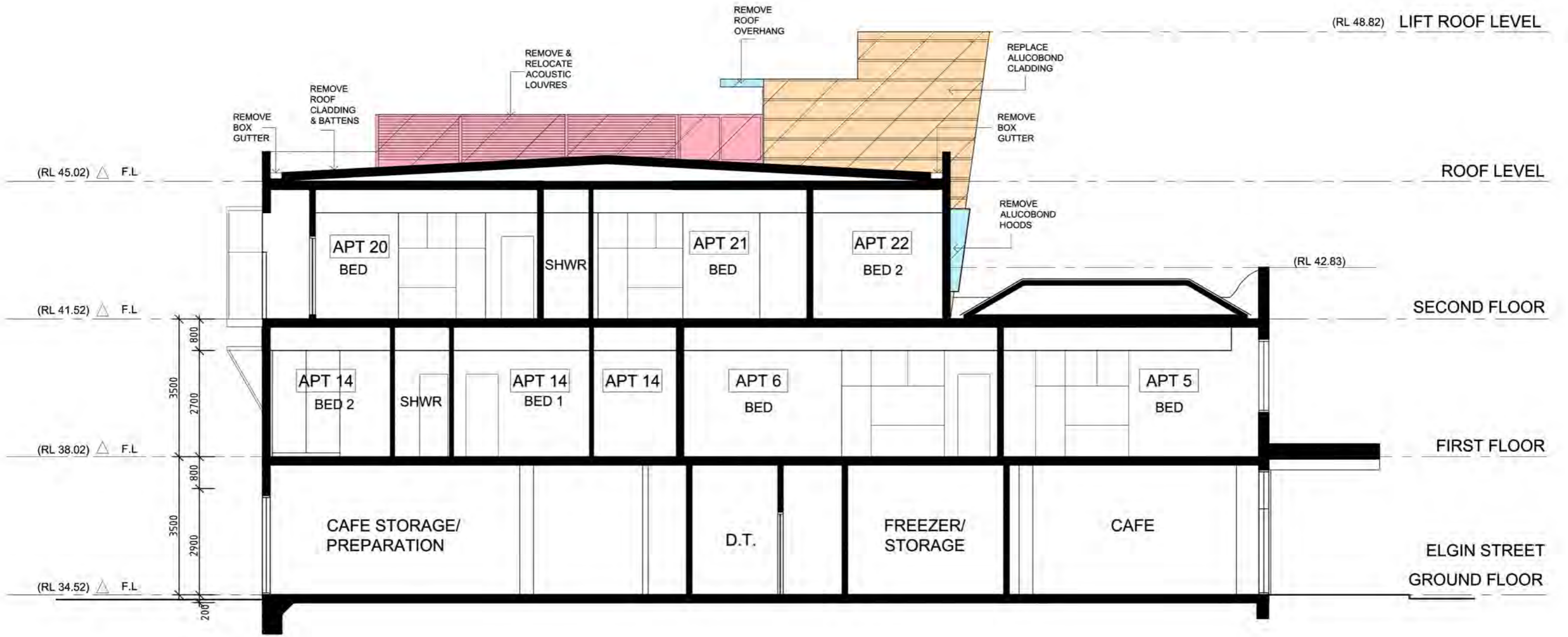


EXISTING SECTION A-A (DEMOLITION)
SCALE 1:100

 EXTENT OF DEMOLITION

DEMOLITION LEGEND	
	METAL ROOF COVERING AND BATTENS
	FLOOR TILES TO TERRACE
	METAL WALL CLADDING
	BALUSTRADES/SCREENS
	WALL STRUCTURE

DEMOLITION SECTION A-A (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/17 JOB NO. 3003
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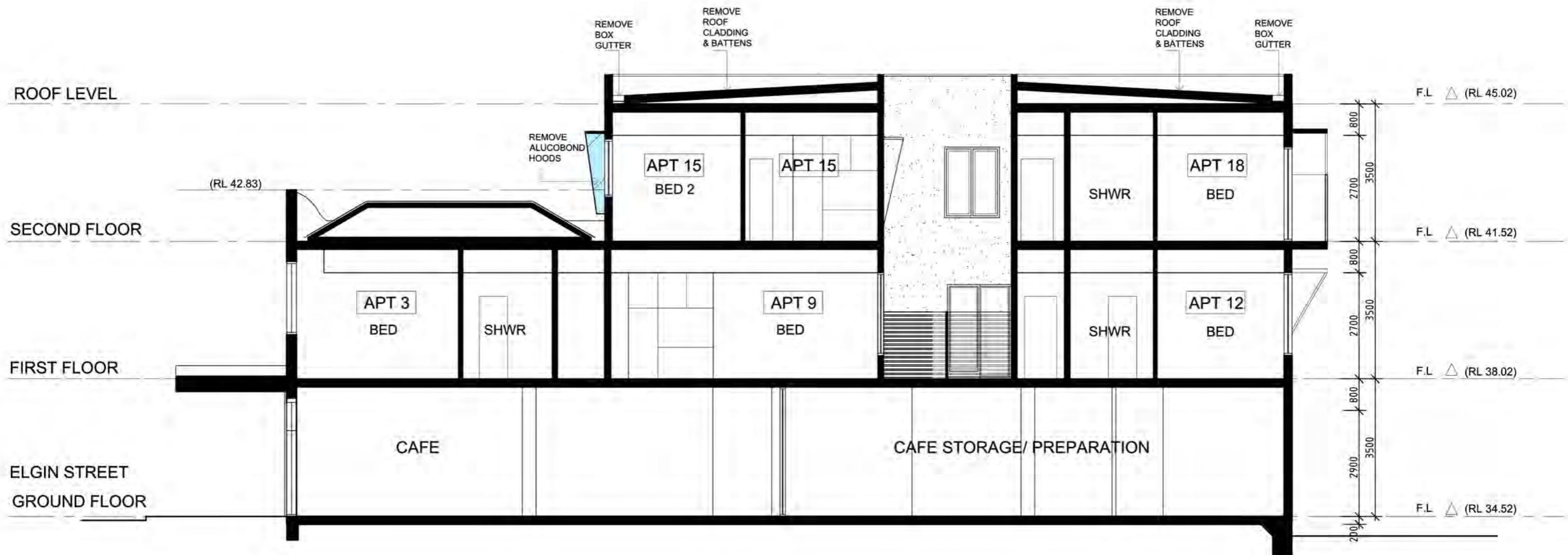


EXISTING SECTION B-B (DEMOLITION)
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 EXTENT OF DEMOLITION

DEMOLITION LEGEND	
	METAL ROOF COVERING AND BATTENS
	FLOOR TILES TO TERRACE
	METAL WALL CLADDING
	BALUSTRADES/SCREENS
	WALL STRUCTURE

DEMOLITION SECTION B-B (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/18 JOB NO. 3003
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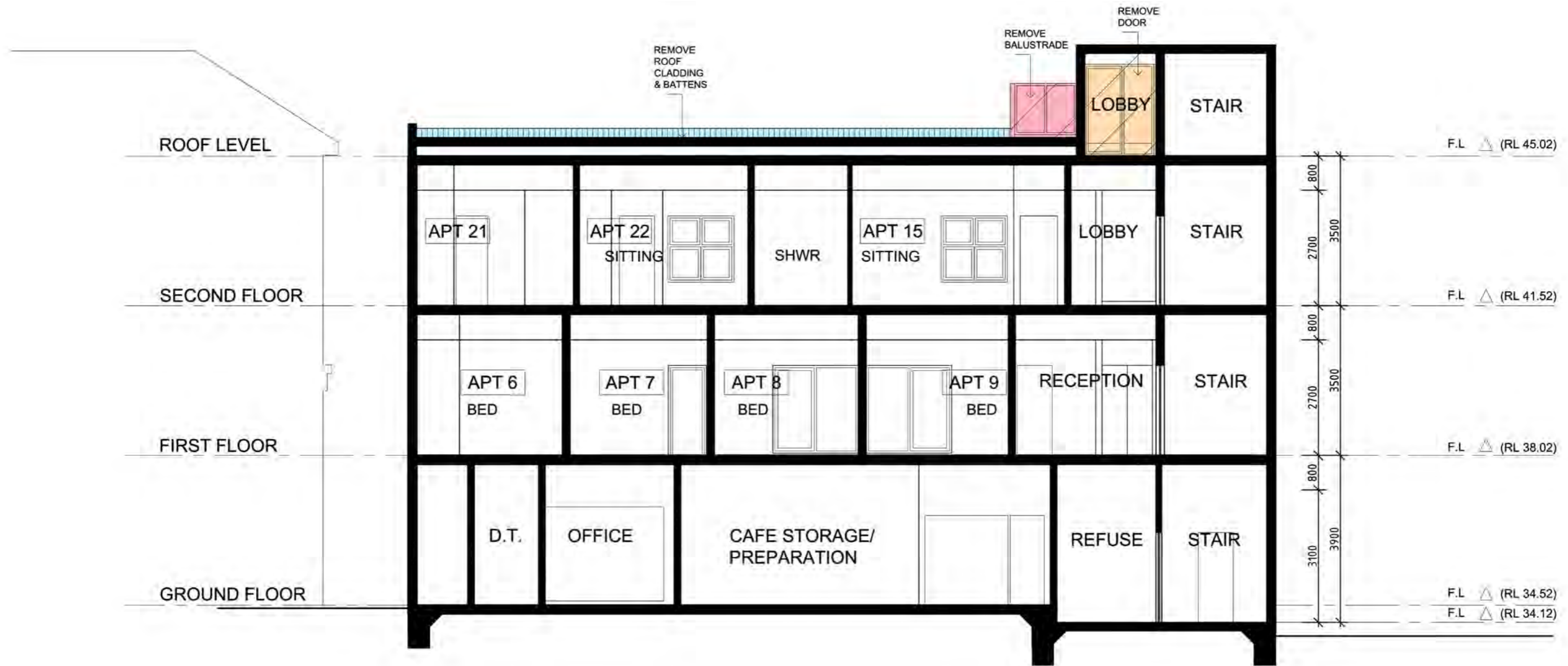


EXISTING SECTION C-C (DEMOLITION)
SCALE 1:100

 EXTENT OF DEMOLITION

DEMOLITION LEGEND	
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	FLOOR TILES TO TERRACE
	METAL WALL CLADDING
	BALUSTRADES/SCREENS
	WALL STRUCTURE

DEMOLITION SECTION C-C (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/19 JOB NO. 3003
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EXISTING SECTION D-D (DEMOLITION)
SCALE 1:100

 EXTENT OF DEMOLITION

DEMOLITION LEGEND	
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	FLOOR TILES TO TERRACE
	METAL WALL CLADDING
	BALUSTRADES/SCREENS
	WALL STRUCTURE

DEMOLITION SECTION D-D (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/20 JOB NO. 3003
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EXISTING NORTH ELEVATION (DEMOLITION)
SCALE 1:100

 EXTENT OF DEMOLITION

DEMOLITION LEGEND	
	METAL ROOF COVERING AND BATTENS
	FLOOR TILES TO TERRACE
	METAL WALL CLADDING
	BALUSTRADES/SCREENS
	WALL STRUCTURE

DEMOLITION NORTH ELEVATION (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/21 JOB NO. 3003
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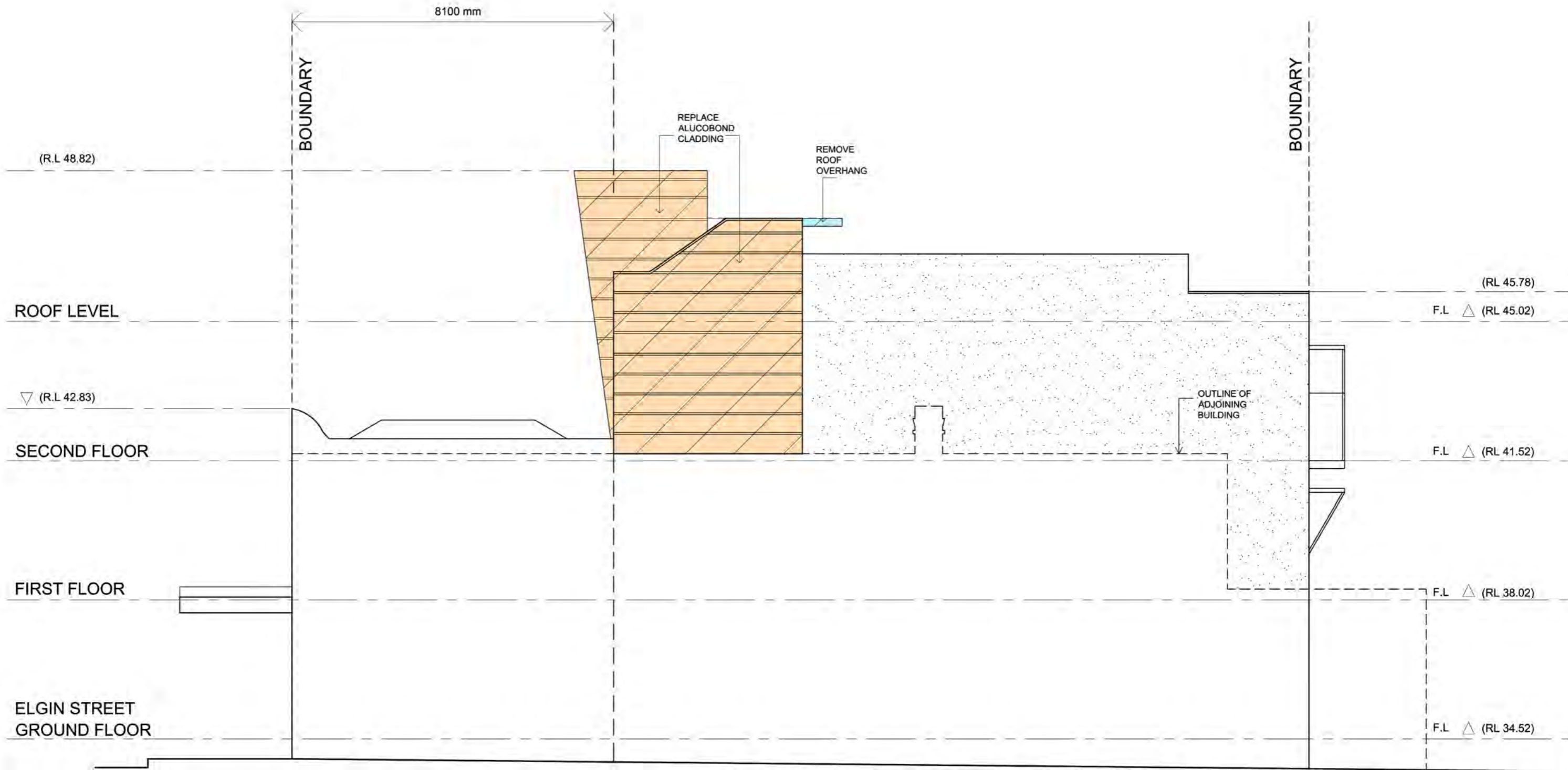


EXISTING SOUTH ELEVATION (DEMOLITION)
SCALE 1:100

 EXTENT OF DEMOLITION

DEMOLITION LEGEND	
	METAL ROOF COVERING AND BATTENS
	FLOOR TILES TO TERRACE
	METAL WALL CLADDING
	BALUSTRADES/SCREENS
	WALL STRUCTURE

DEMOLITION SOUTH ELEVATION (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/22 JOB NO. 3003
	Scale: 1:100	Drawn: - JANUARY 2020		

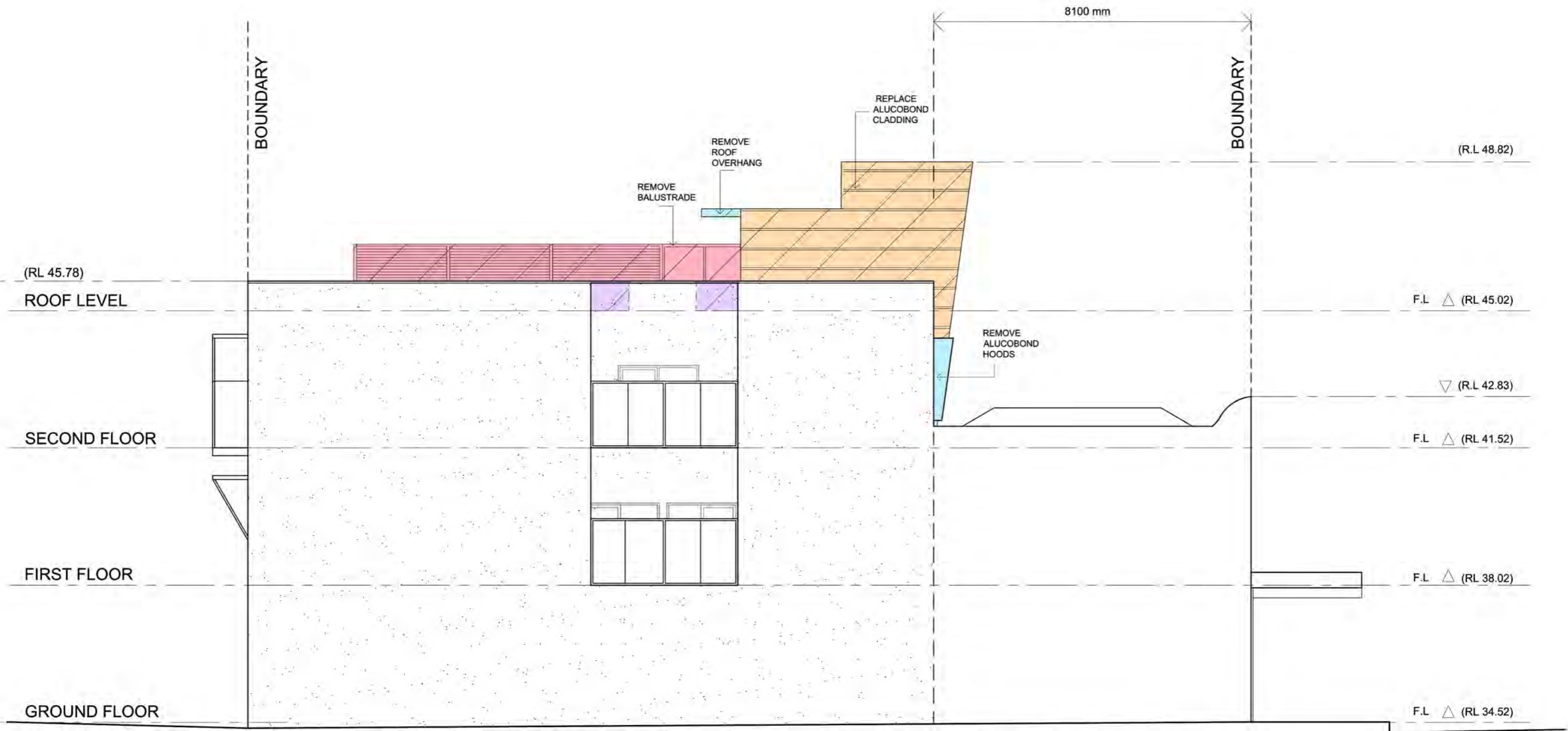


EXISTING EAST ELEVATION (DEMOLITION)
SCALE 1:100

 EXTENT OF DEMOLITION

DEMOLITION LEGEND	
	METAL ROOF COVERING AND BATTENS
	FLOOR TILES TO TERRACE
	METAL WALL CLADDING
	BALUSTRADES/SCREENS
	WALL STRUCTURE

DEMOLITION EAST ELEVATION (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/23 JOB NO. 3003
	Scale: 1:100	Drawn: - JANUARY 2020		

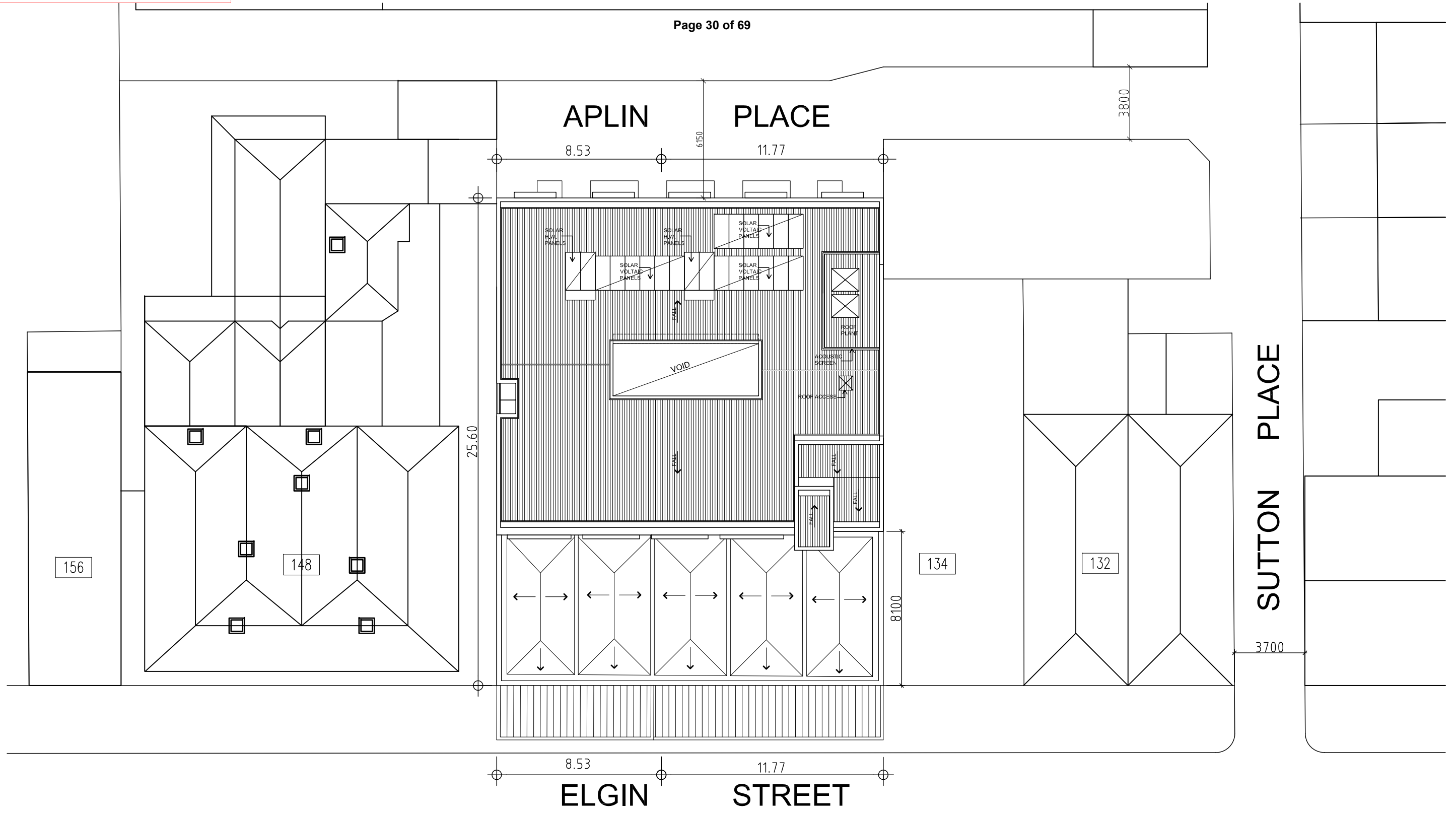


EXISTING WEST ELEVATION (DEMOLITION)
SCALE 1:100

 EXTENT OF DEMOLITION

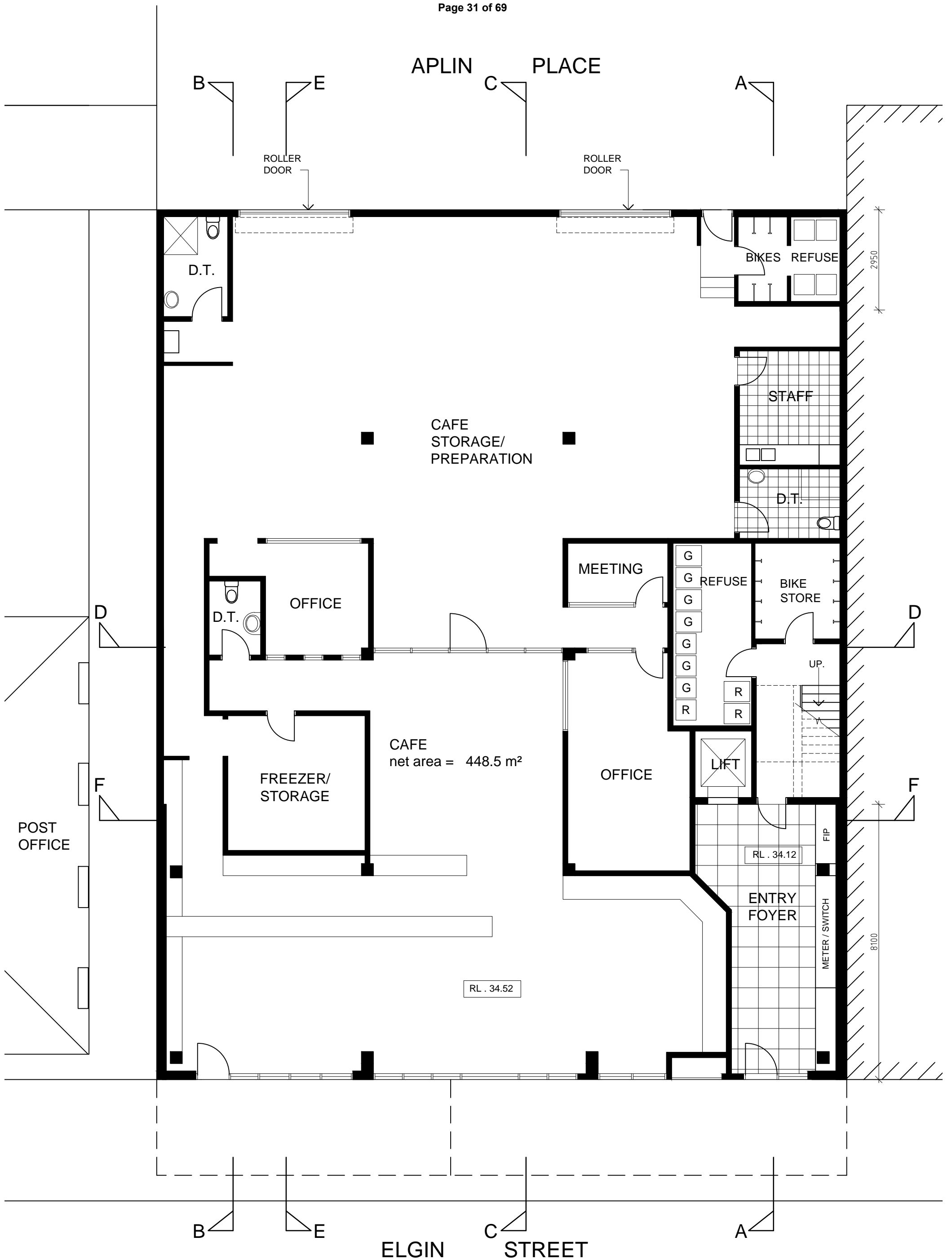
DEMOLITION LEGEND	
	METAL ROOF COVERING AND BATTENS
	FLOOR TILES TO TERRACE
	METAL WALL CLADDING
	BALUSTRADES/SCREENS
	WALL STRUCTURE

DEMOLITION WEST ELEVATION (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/24 JOB NO. 3003
	Scale: 1:100	Drawn: - JANUARY 2020		

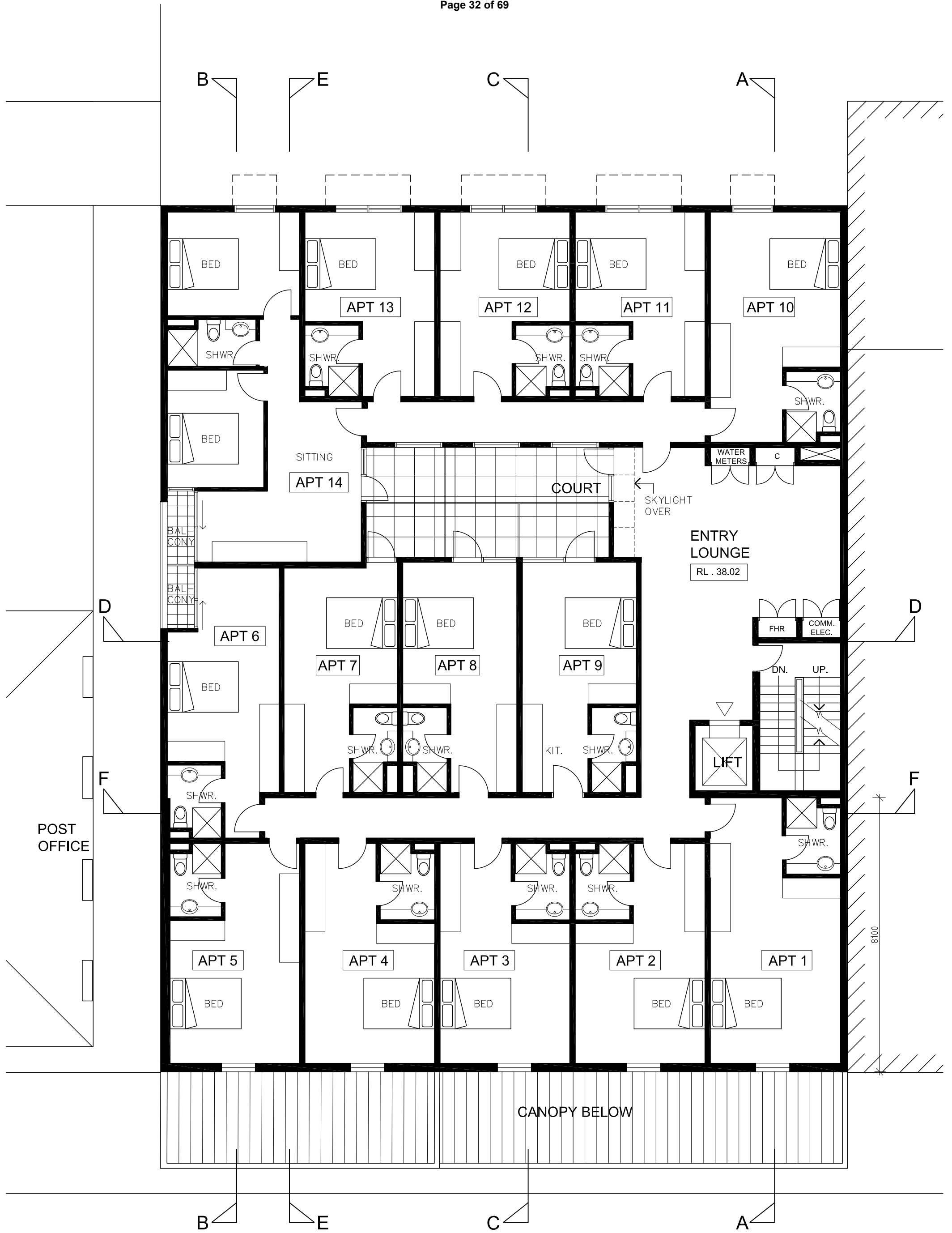


PROPOSED SITE PLAN
SCALE 1:200

PROPOSED SITE PLAN (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/25 JOB NO. 3003
	Scale: 1:200	Drawn: - JANUARY 2020		



NO.	AMENDMENT	DATE	PROPOSED GROUND FLOOR PLAN (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton Scale: 1:100	Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au		TP/26A
A1	REFUSE AREA LAYOUT AMENDED	27.04.20					JOB NO. 3003



PROPOSED
FIRST FLOOR
PLAN

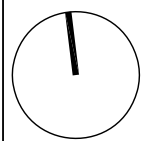
(PLANNING STAGE)

*Proposed Alterations to Mixed Use
Development at
138-144 Elgin Street, Carlton*

Scale: 1:100

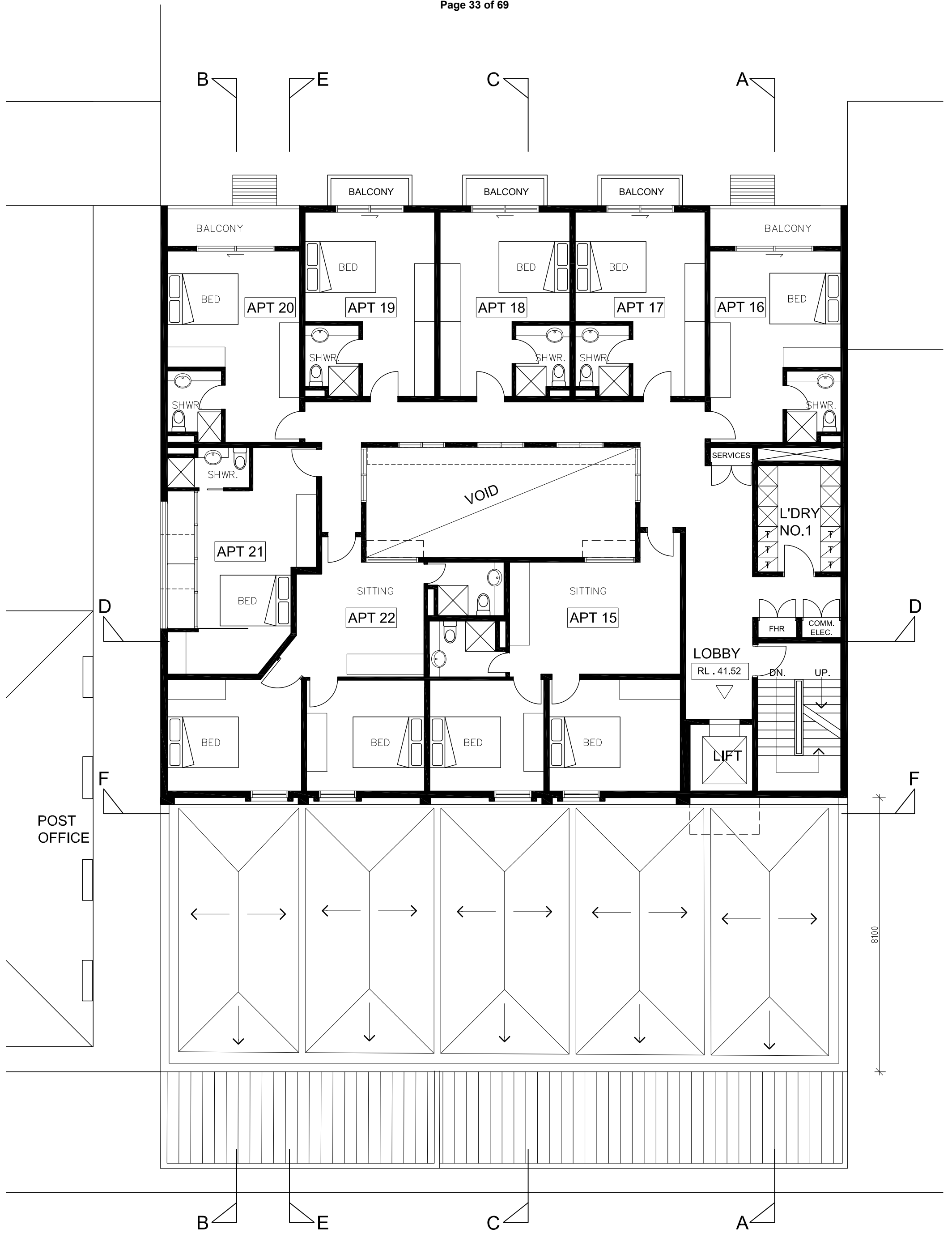
Drawn: -
JANUARY 2020

Edmond & Corrigan
Pty Ltd
ACN 006 772 489
676 Drummond Street,
Carlton North, VIC 3054
Tel: 9662 2651
Email: edmocorr@netspace.net.au



TP/27

JOB NO.
3003



PROPOSED
SECOND FLOOR
PLAN

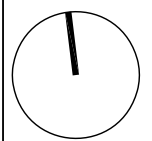
(PLANNING STAGE)

*Proposed Alterations to Mixed Use
Development at
138-144 Elgin Street, Carlton*

Scale: 1:100

Drawn: -
JANUARY 2020

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Pty Ltd
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676 Drummond Street,
Carlton North, VIC 3054
Tel: 9662 2651
Email: edmocorr@netspace.net.au



TP/28

JOB NO.
3003

20305



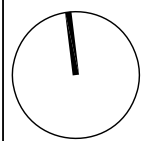
PROPOSED
THIRD FLOOR
PLAN
(PLANNING STAGE)

*Proposed Alterations to Mixed Use
Development at
138-144 Elgin Street, Carlton*

Scale: 1:100

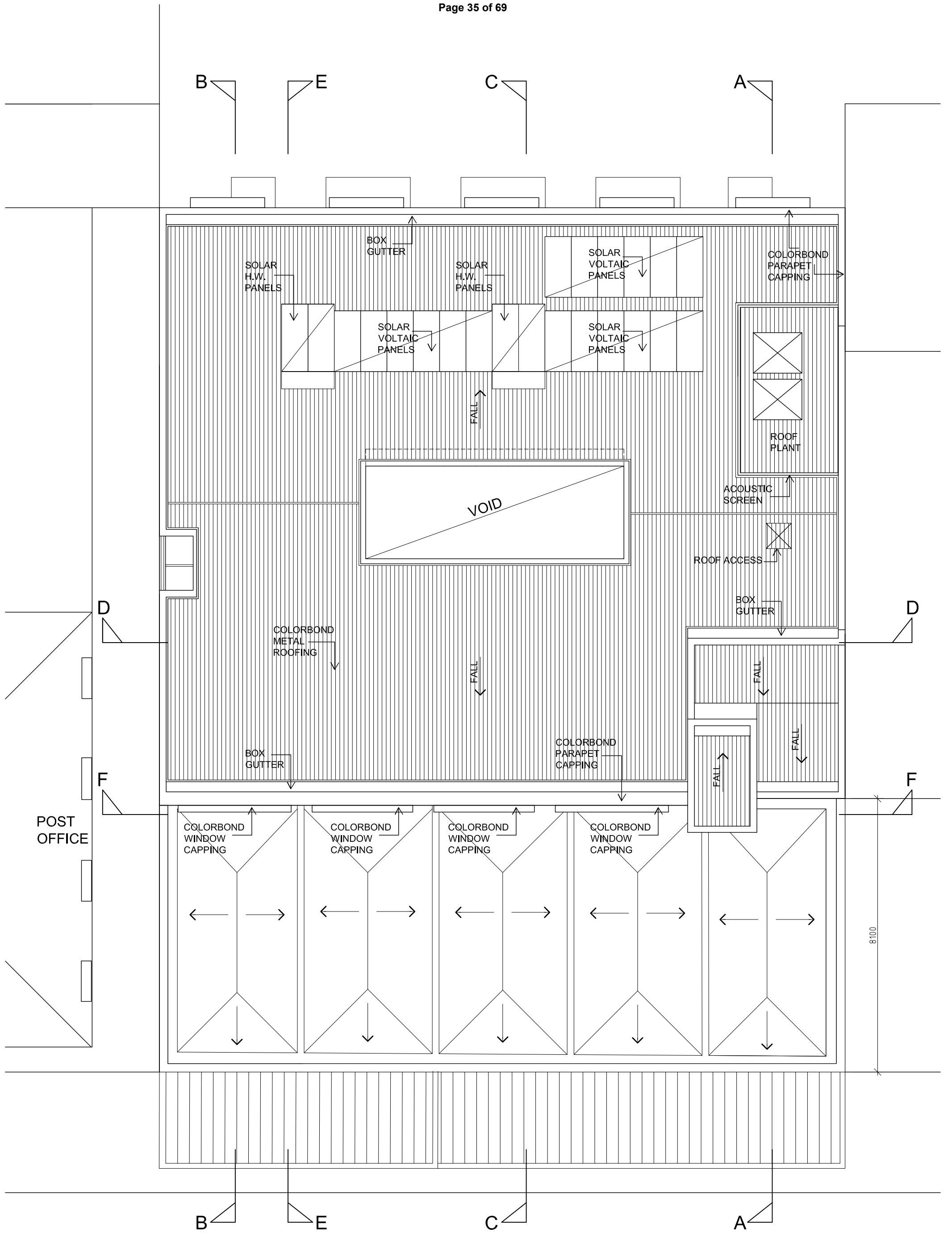
Drawn: -
JANUARY 2020

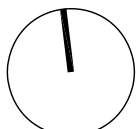
Edmond & Corrigan
Pty Ltd
ACN 006 772 489
676 Drummond Street,
Carlton North, VIC 3054
Tel: 9662 2651
Email: edmocorr@netspace.net.au

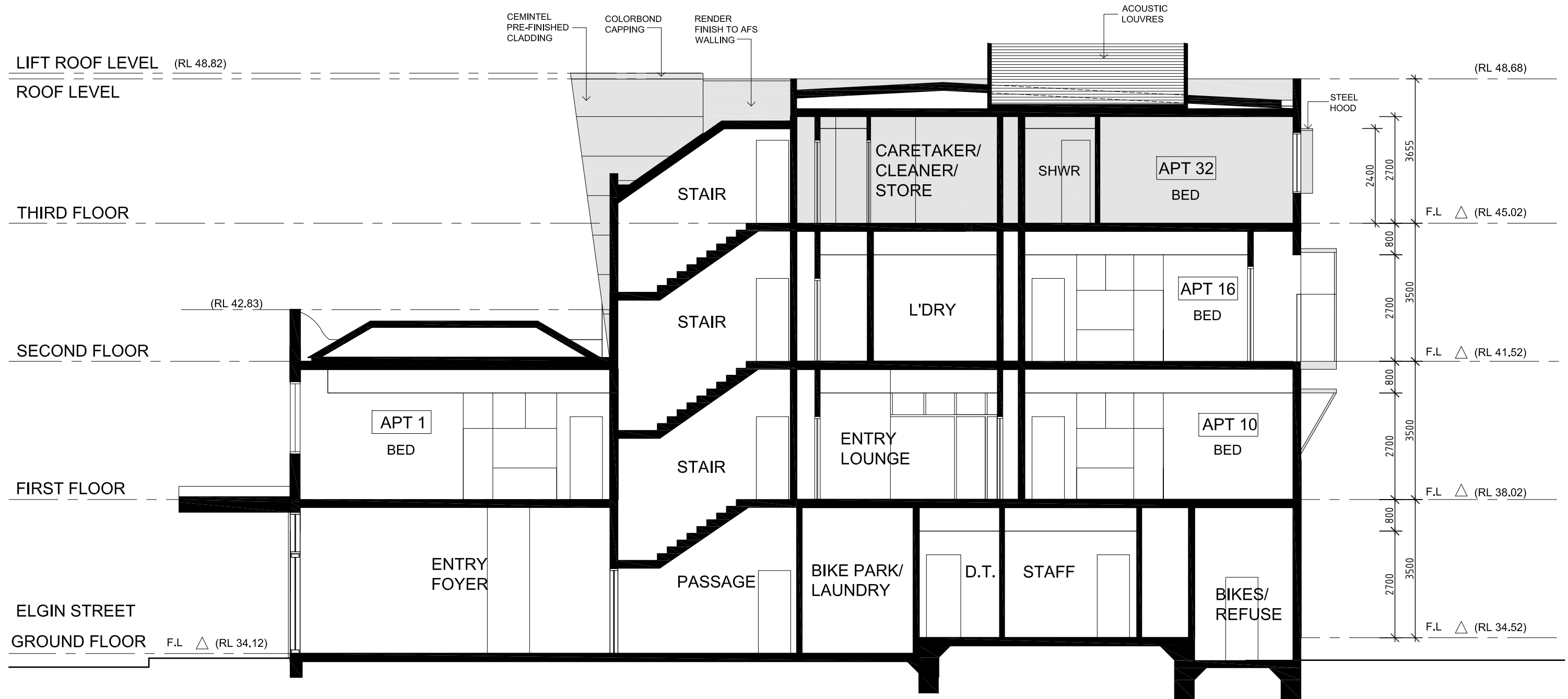


TP/29

JOB NO.
3003

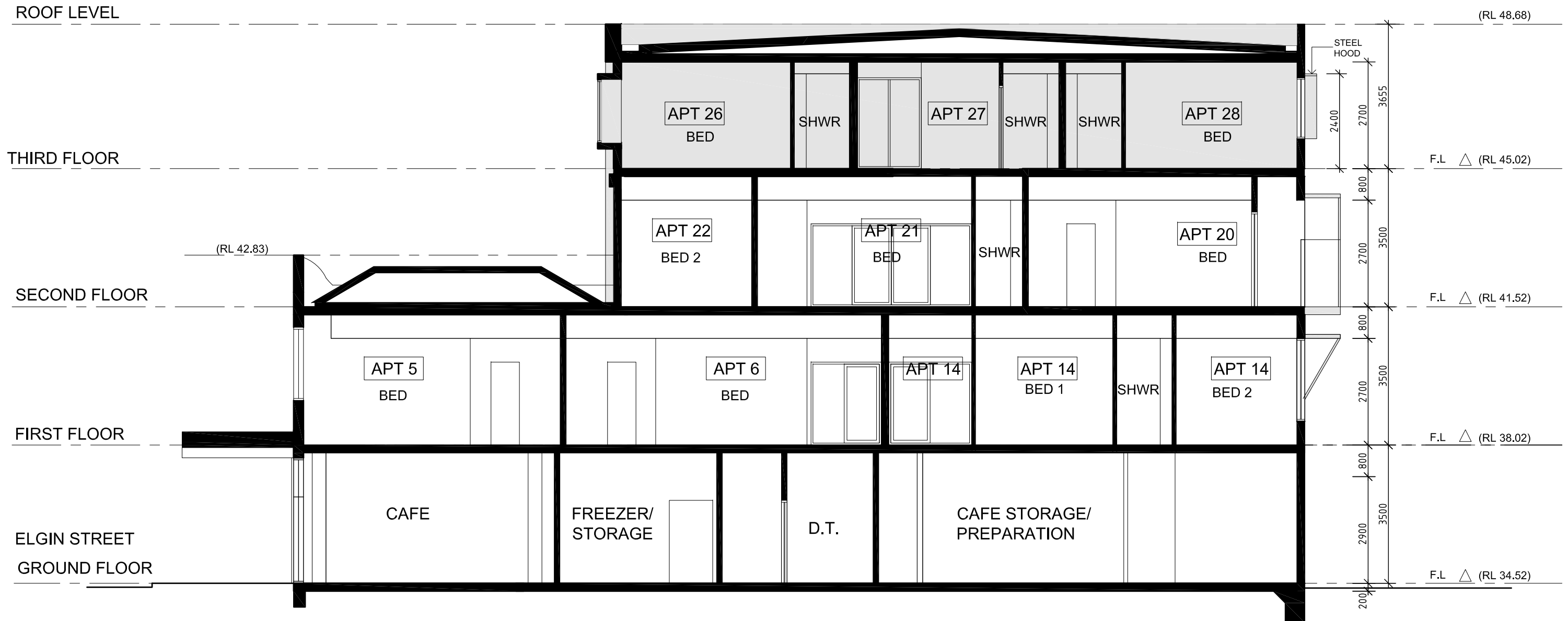


PROPOSED ROOF PLAN (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au		TP/30
	Scale: 1:100	Drawn: - JANUARY 2020			JOB NO. 3003



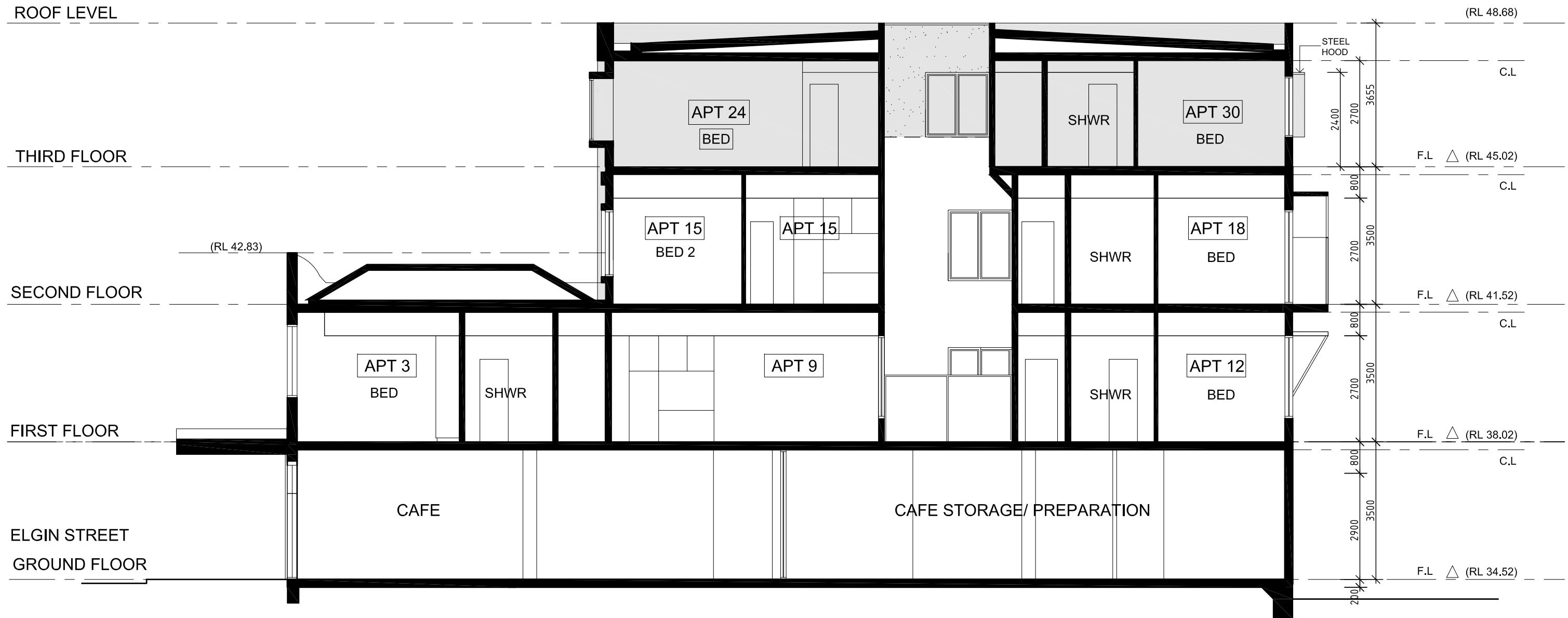
PROPOSED SECTION A-A
SCALE 1:100

PROPOSED SECTION A-A (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/31
	Scale: 1:100	Drawn: - JANUARY 2020		JOB NO. 3003



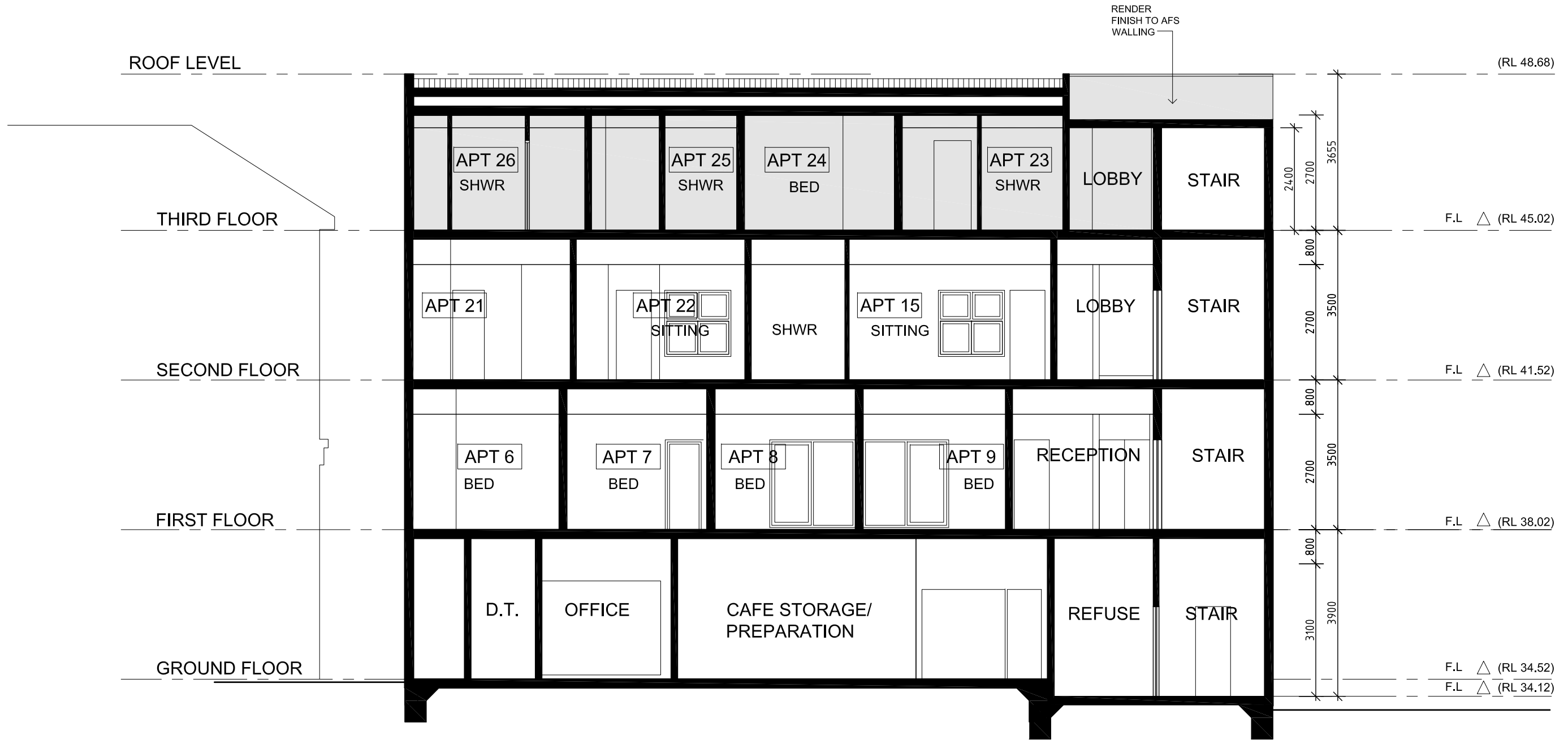
PROPOSED SECTION B-B
SCALE 1:100

PROPOSED SECTION B-B (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/32
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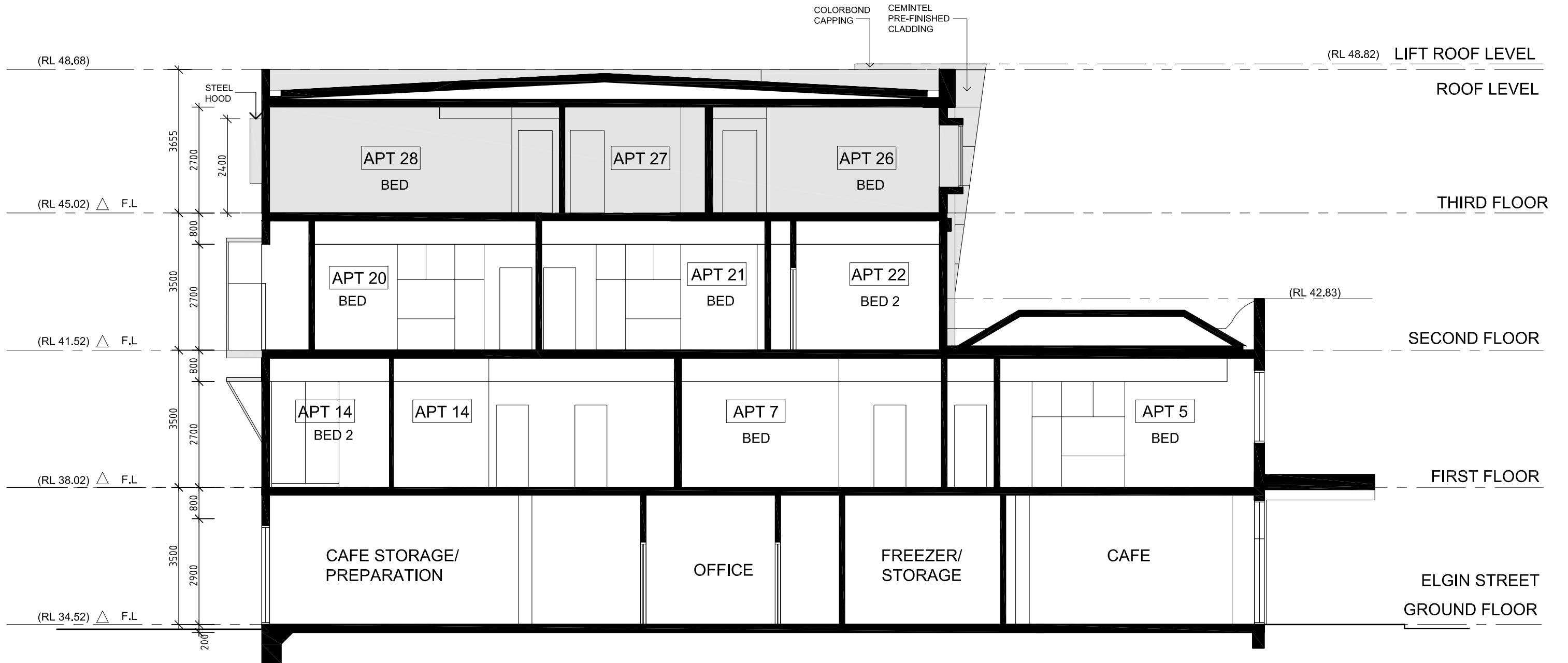
PROPOSED SECTION C-C
SCALE 1:100

PROPOSED SECTION C-C (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/33 JOB NO. 3003
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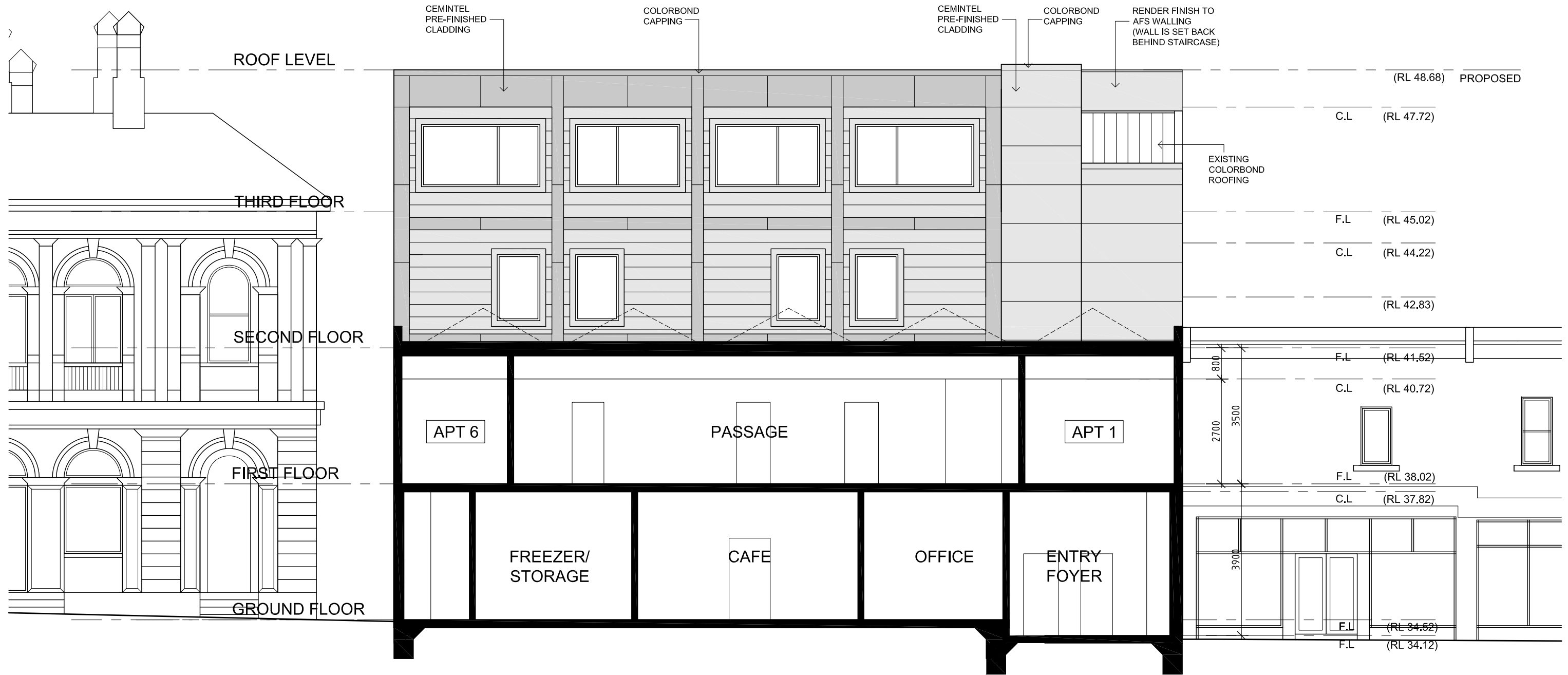
PROPOSED SECTION D-D
SCALE 1:100

PROPOSED SECTION D-D (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/34 JOB NO. 3003
	Scale: 1:100	Drawn: - JANUARY 2020		



PROPOSED SECTION E-E
SCALE 1:100

PROPOSED SECTION E-E (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/35
	Scale: 1:100	Drawn: - JANUARY 2020		JOB NO. 3003



PROPOSED SECTION F-F
SCALE 1:100

PROPOSED SECTION F-F (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/36 JOB NO. 3003
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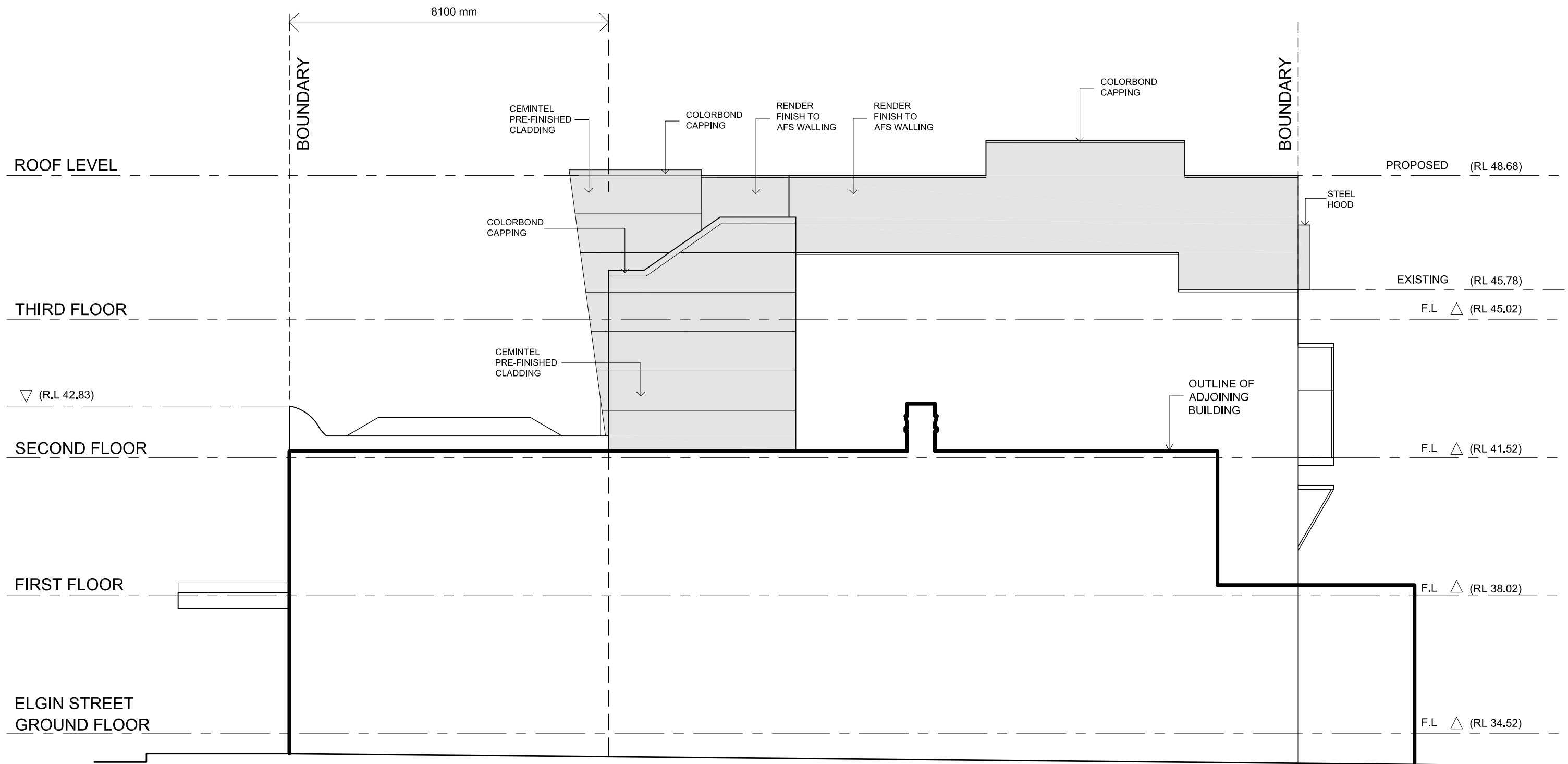
PROPOSED NORTH ELEVATION
SCALE 1:100

PROPOSED NORTH ELEVATION (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/37 JOB NO. 3003
	Scale: 1:100	Drawn: - JANUARY 2020		



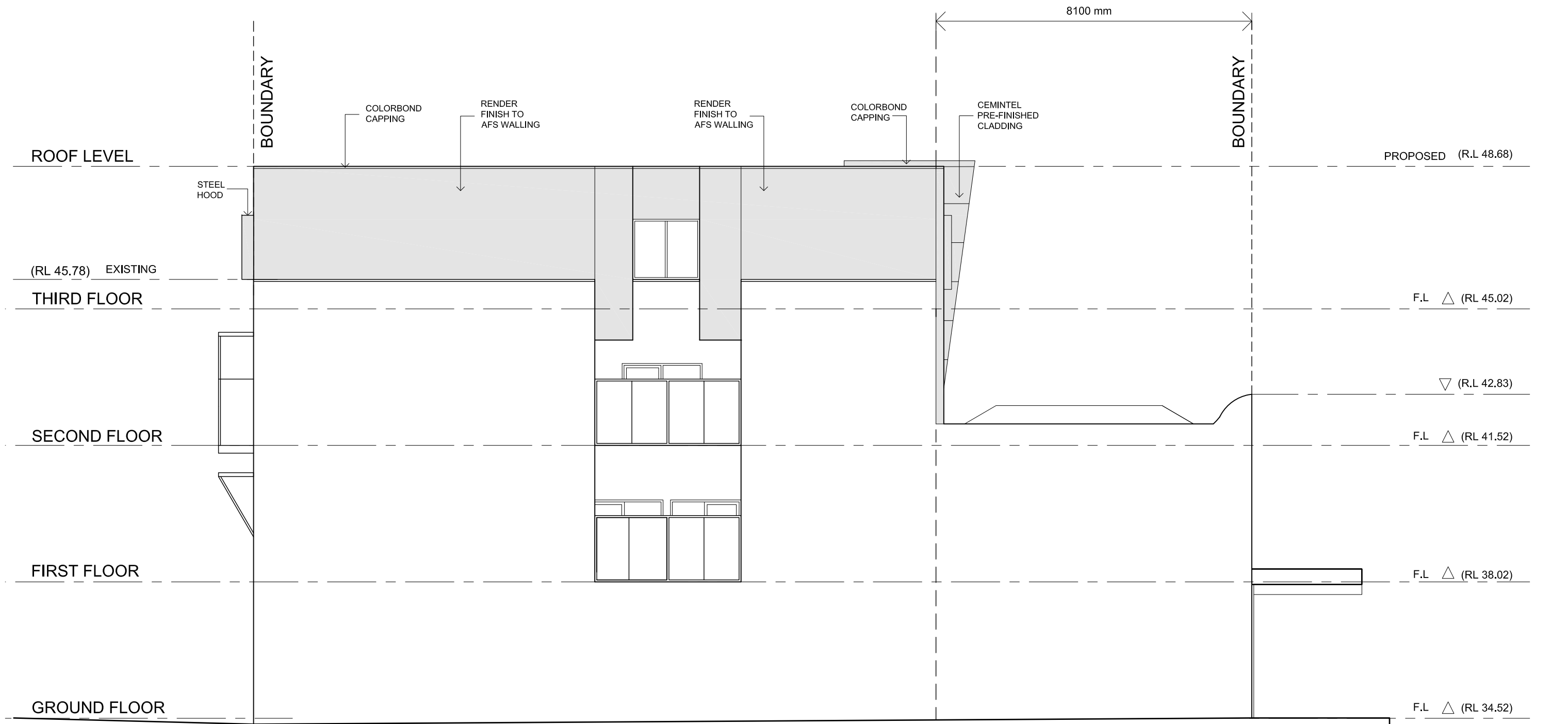
PROPOSED SOUTH ELEVATION
SCALE 1:100

PROPOSED SOUTH ELEVATION (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/38 JOB NO. 3003
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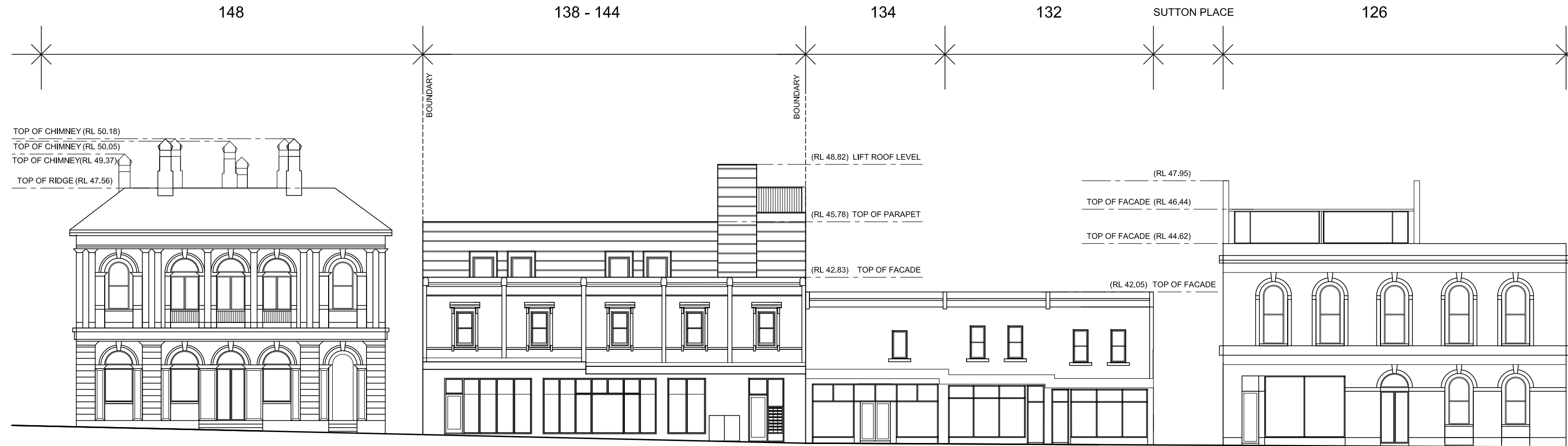
PROPOSED EAST ELEVATION
SCALE 1:100

PROPOSED EAST ELEVATION (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/39
	Scale: 1:100	Drawn: - JANUARY 2020		JOB NO. 3003



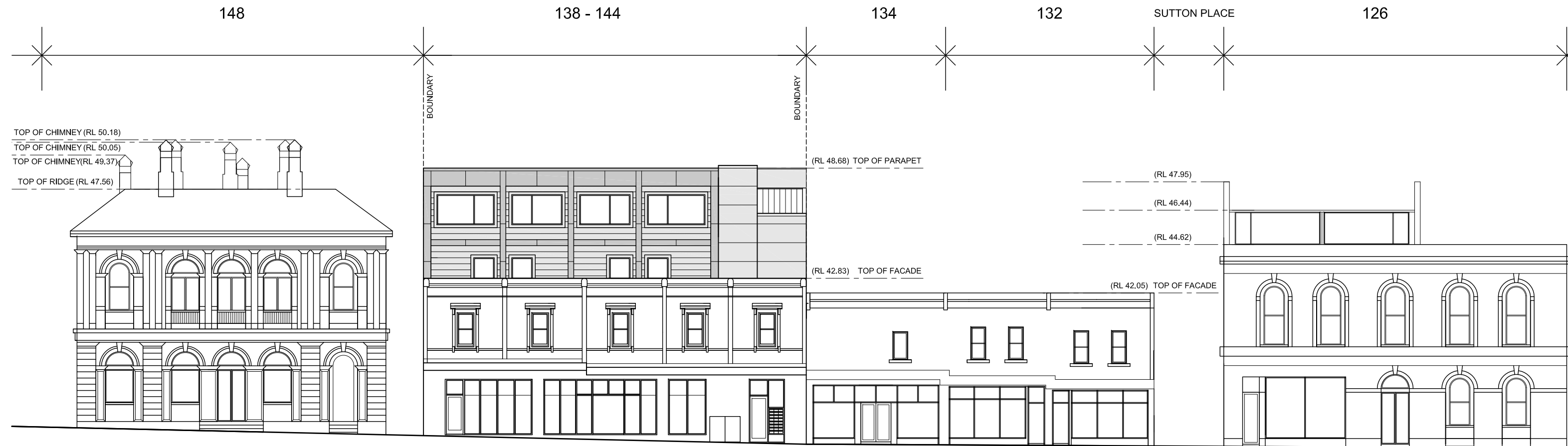
PROPOSED WEST ELEVATION
SCALE 1:100

PROPOSED WEST ELEVATION (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/40
	Scale: 1:100	Drawn: - JANUARY 2020		JOB NO. 3003



EXISTING ELGIN STREET STREETScape - NORTH SIDE
SCALE 1: 200

EXISTING ELGIN STREET STREETScape NORTH SIDE (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/41
	Scale: 1:200	Drawn: - JANUARY 2020		JOB NO. 3003



PROPOSED ELGIN STREET STREETScape - NORTH SIDE
SCALE 1: 200

PROPOSED ELGIN STREET STREETScape NORTH SIDE (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/42 JOB NO. 3003
	Scale: 1:200	Drawn: - JANUARY 2020		



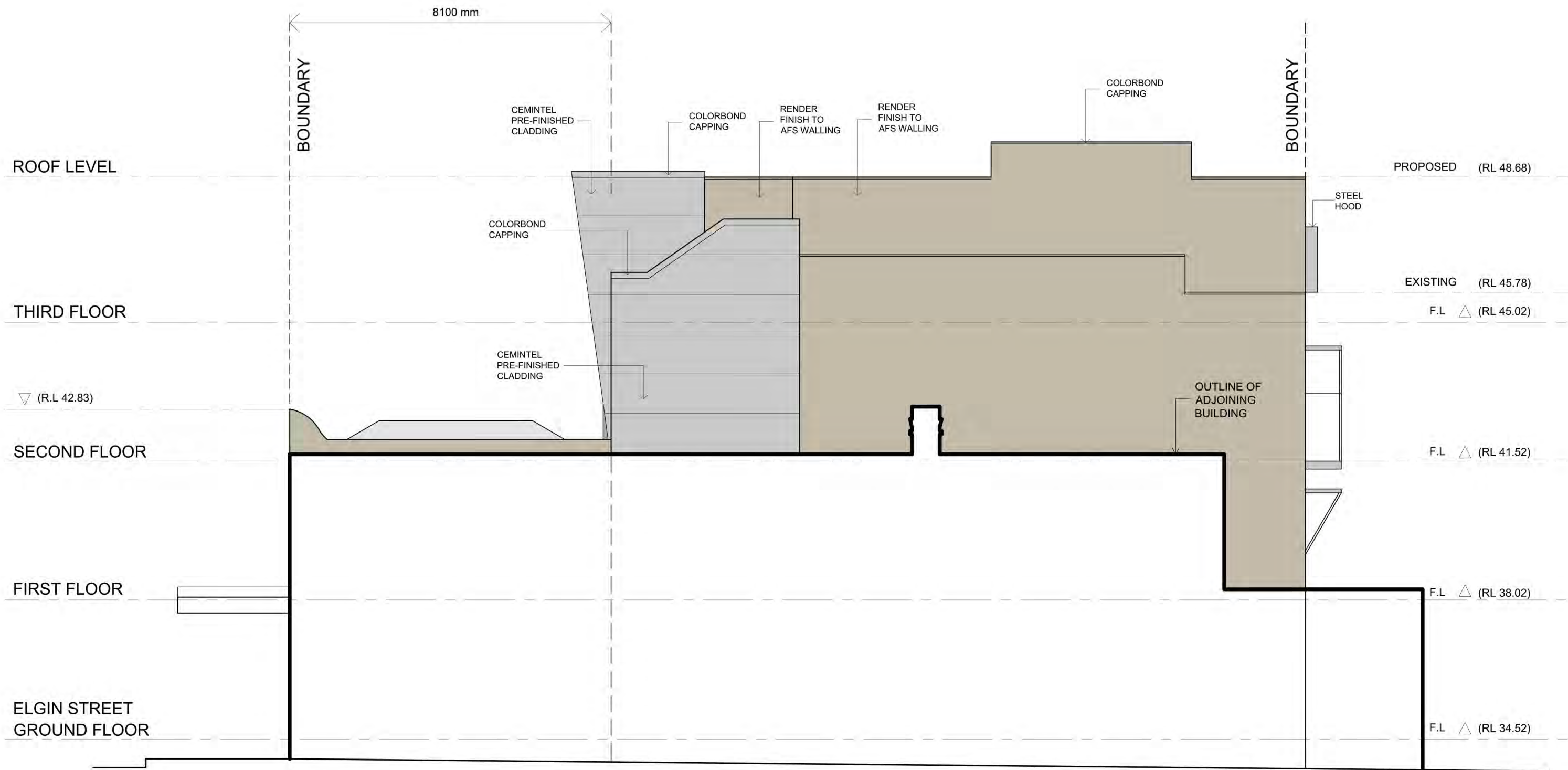
PROPOSED NORTH ELEVATION
SCALE 1:100

PROPOSED NORTH ELEVATION (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/43 JOB NO. 3003
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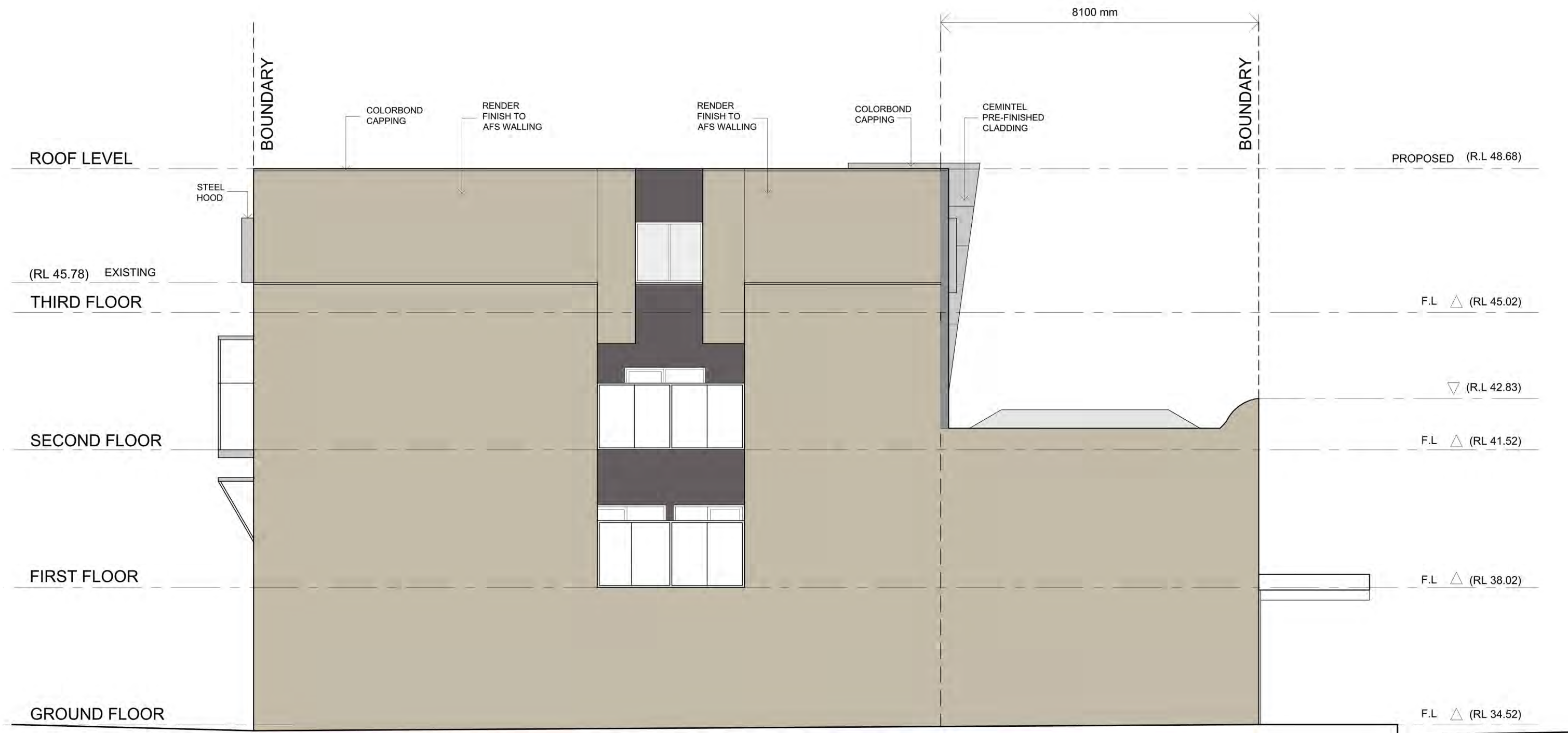
PROPOSED SOUTH ELEVATION
SCALE 1:100

PROPOSED SOUTH ELEVATION (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/44 JOB NO. 3003
	Scale: 1:100	Drawn: - JANUARY 2020		



PROPOSED EAST ELEVATION
SCALE 1:100

PROPOSED EAST ELEVATION (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/45 JOB NO. 3003
	Scale: 1:100	Drawn: - JANUARY 2020		



PROPOSED WEST ELEVATION
SCALE 1:100

PROPOSED WEST ELEVATION (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/46 JOB NO. 3003
	Scale: 1:100	Drawn: - JANUARY 2020		

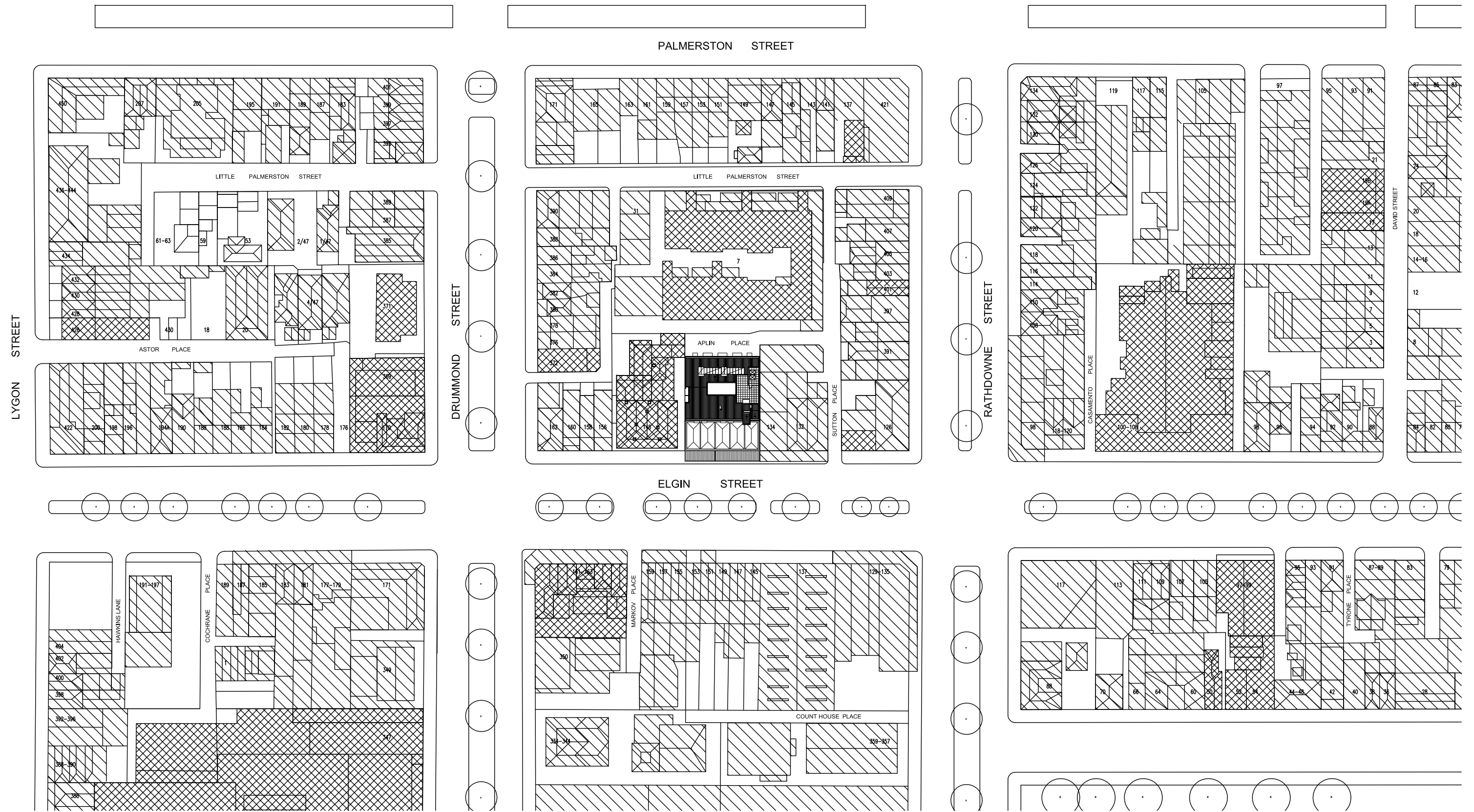


THREE DIMENSIONAL VIEWS OF ELGIN STREET ELEVATION (PLANNING STAGE)	<i>Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton</i>		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/47 JOB NO. 3003
	Scale:	Drawn: - JANUARY 2020		

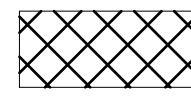
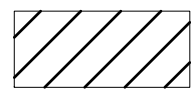
ELEMENT	MATERIAL/ FINISH	COLOUR	
ROOFING (NEW)	COLORBOND KLIP-LOCK ROOF DECKING	"WINDSPRAY"	
WINDOWS (NEW) (TO MATCH EXISTING)	POWDERCOATED ALUMINIUM	DULUX "NOTRE DAME"	
AFS BOUNDARY WALLING (NEW) (NORTH,EAST & WEST ELEVATIONS)	ACRYLIC RENDER FINISH	DULUX "APPARITION" S16B2	
BOUNDARY WALLING (WEST ELEVATION RECESSED WALL)	ACRYLIC RENDER FINISH	DULUX "RAMEAU" SG6A6	
EXTERNAL WALLING COLOUR A (SOUTH ELEVATION)	RENDER FINISH TO CEMINTEL PRE-FINISHED CLADDING	CEMINTEL "BLUEISH"	
EXTERNAL WALLING COLOUR B (SOUTH ELEVATION)	RENDER FINISH TO CEMINTEL PRE-FINISHED CLADDING	CEMINTEL "GREYISH"	

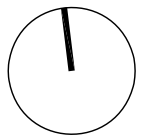
SCHEDULE OF EXTERNAL BUILDING MATERIALS, FINISHES & COLOURS

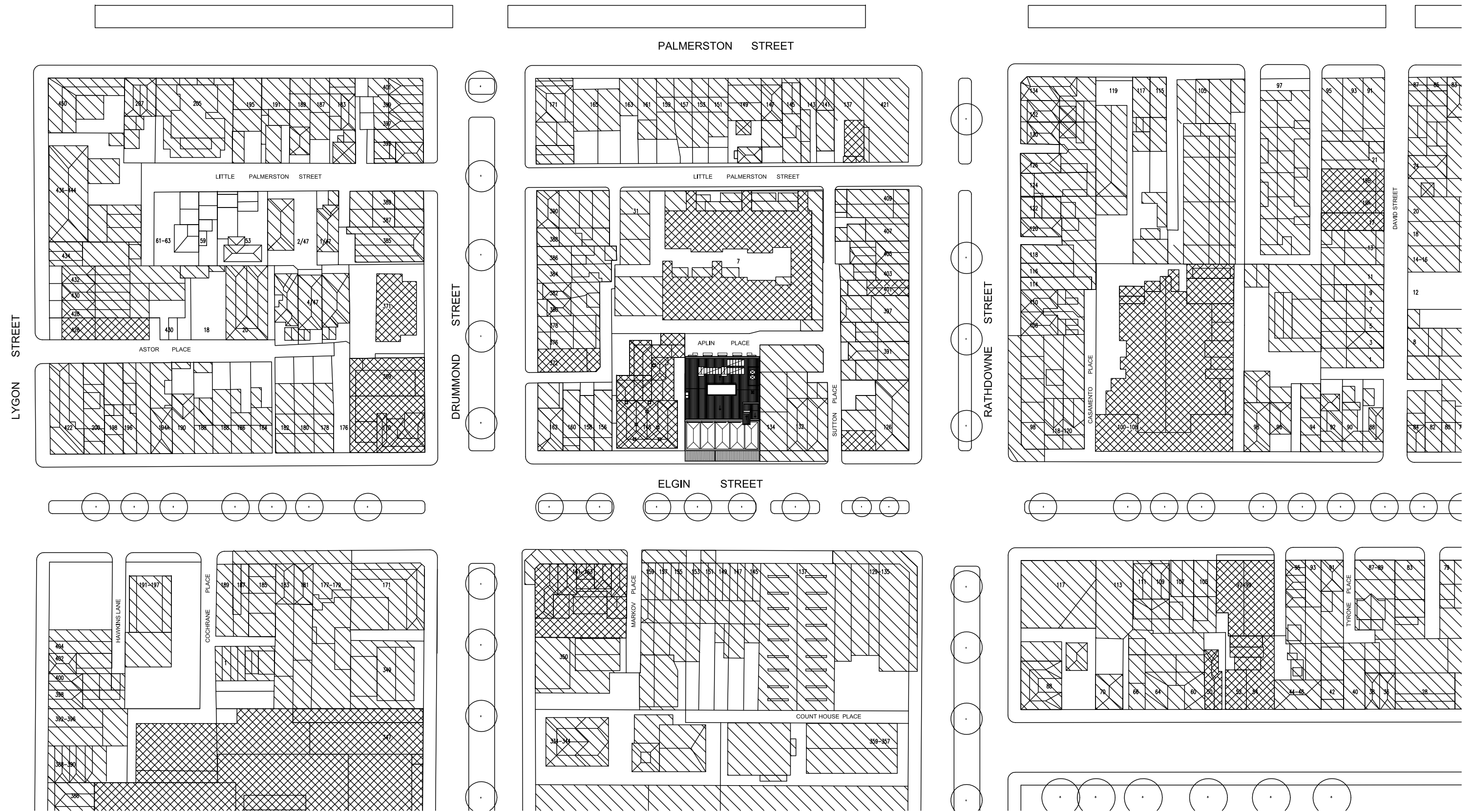
SCHEDULE OF EXTERNAL BUILDING MATERIALS, FINISHES & COLOURS (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/48 JOB NO. 3003
	Scale:	Drawn: - JANUARY 2020		



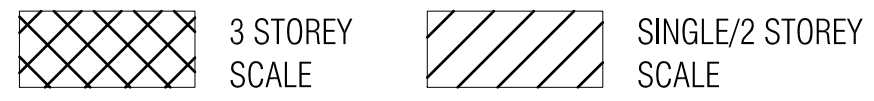
SITE CONTEXT PLAN
SCALE 1:1000

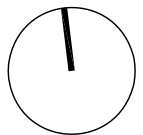
 3 STOREY SCALE
 SINGLE/2 STOREY SCALE

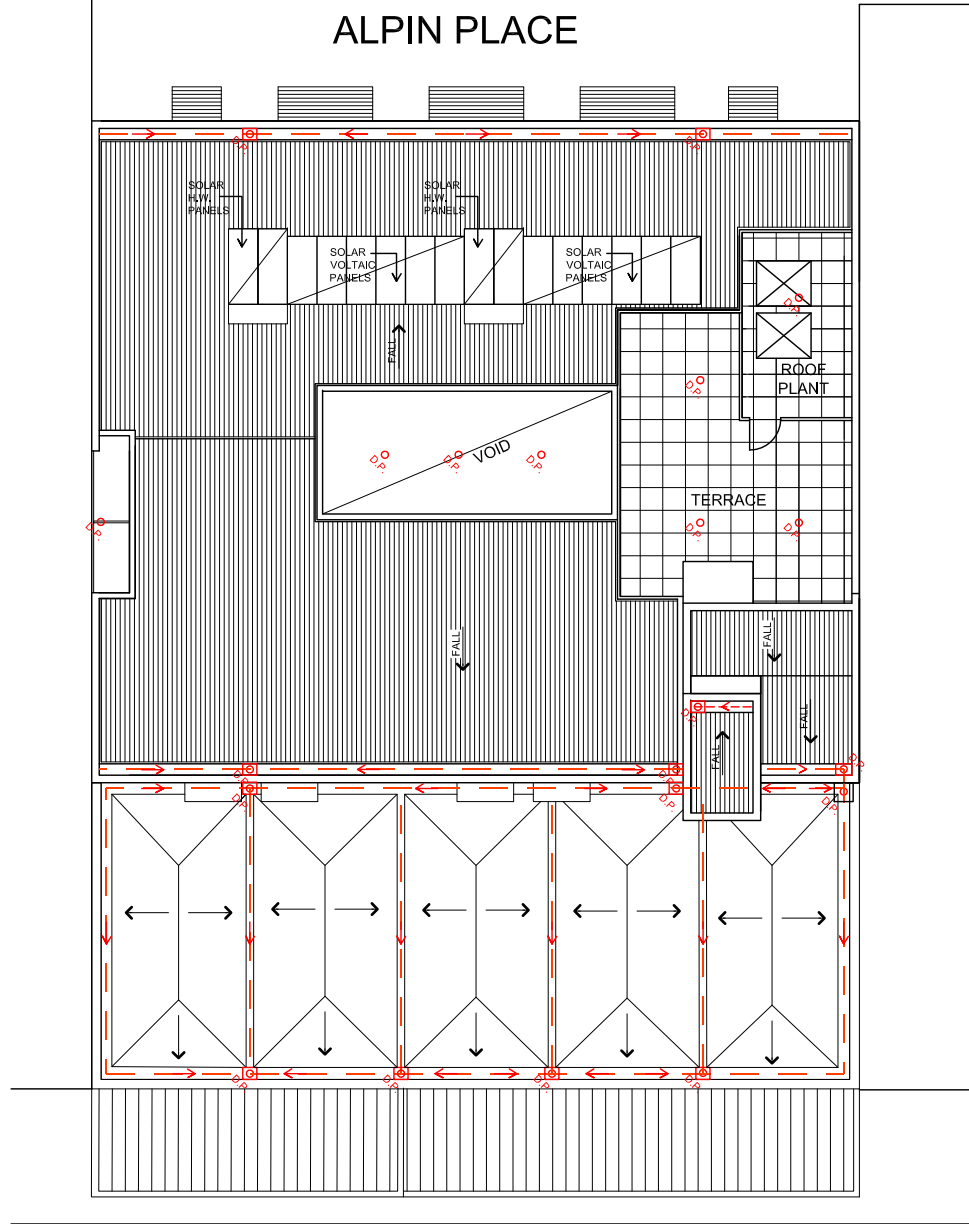
SITE CONTEXT PLAN (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au		TP/49
	Scale: 1:1000	Drawn: - JANUARY 2020			JOB NO. 3003



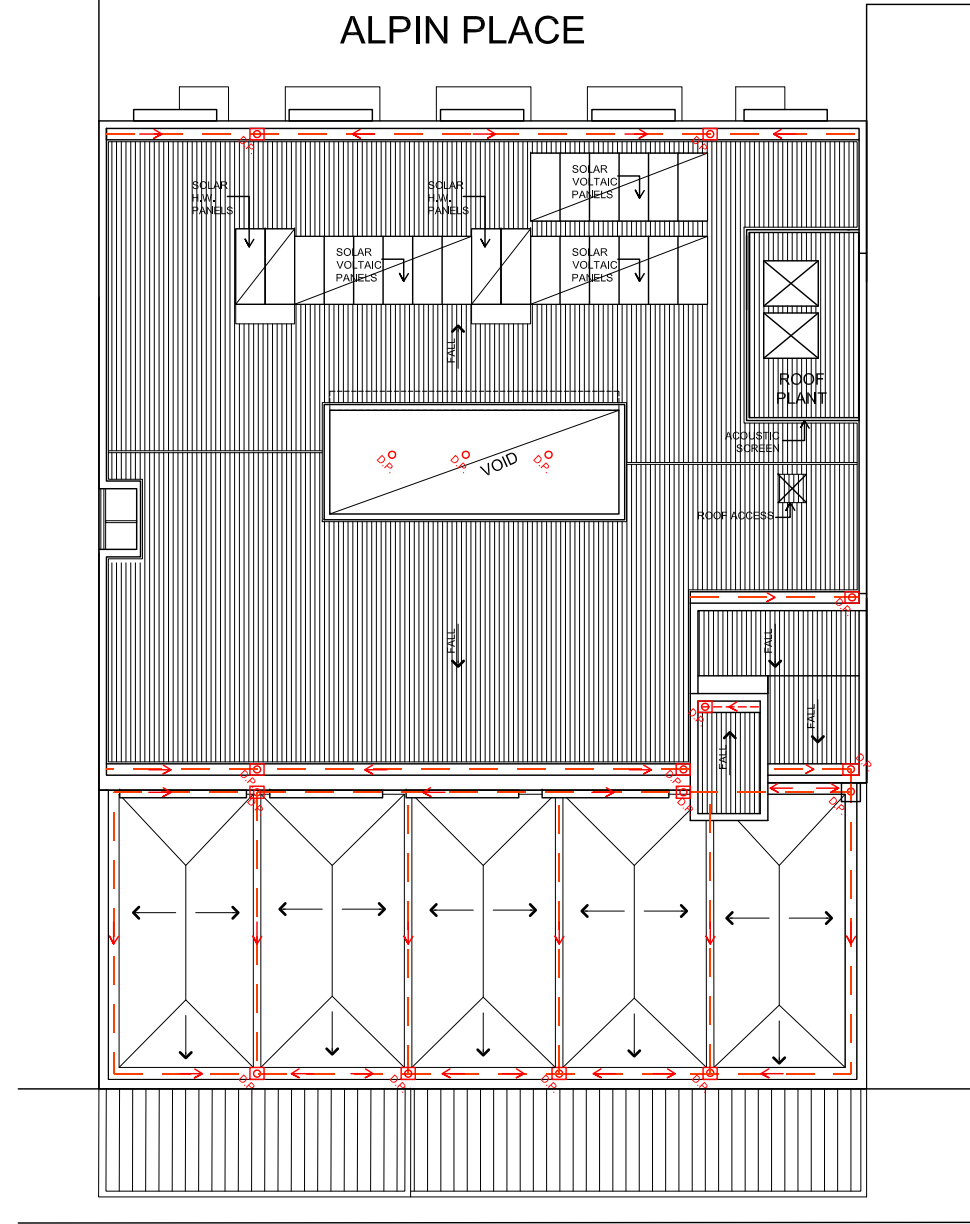
DESIGN RESPONSE PLAN
SCALE 1:1000



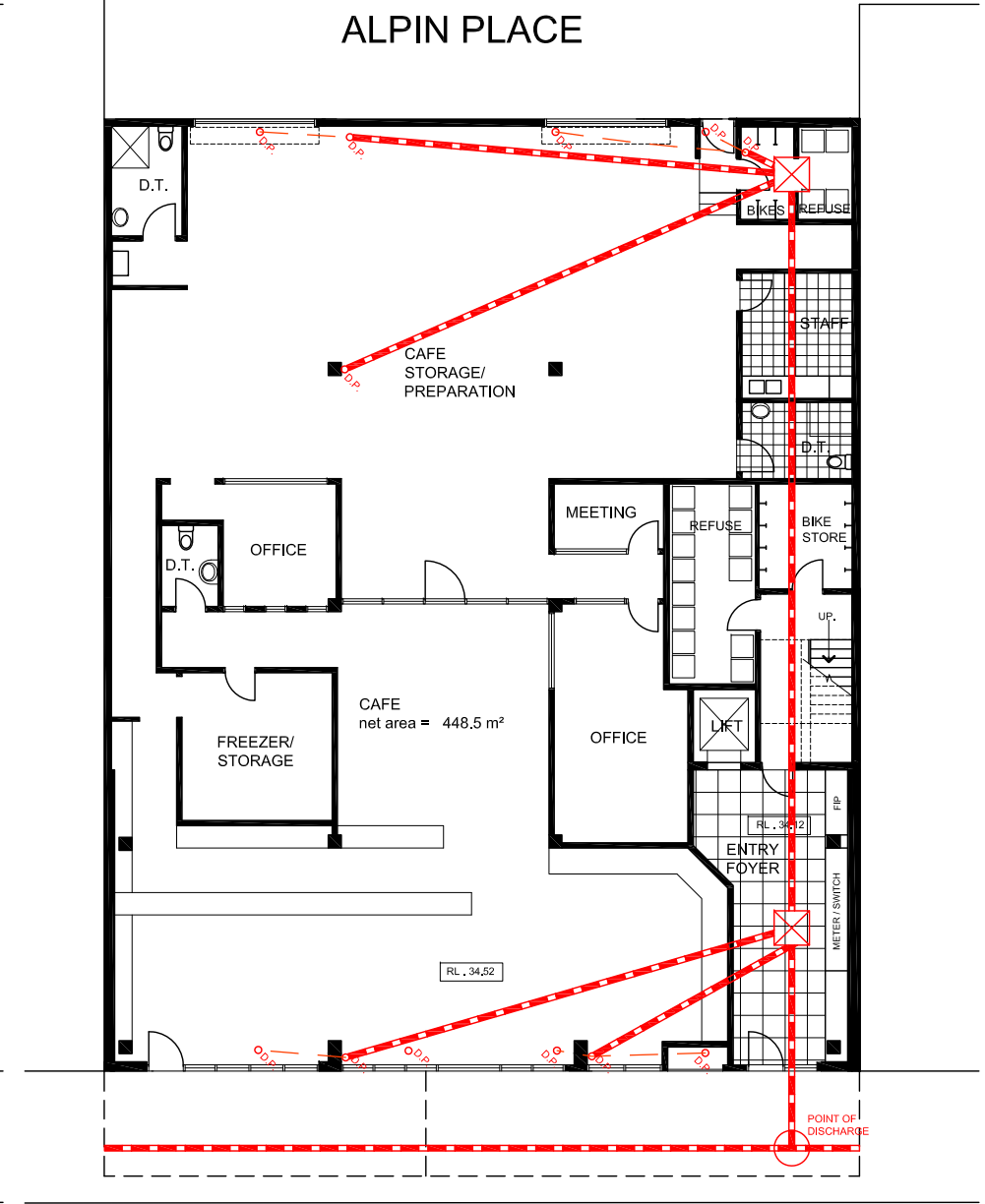
DESIGN RESPONSE PLAN (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Drawn: - Tel: 9662 2651 Email: edmocorr@netspace.net.au	 TP/50 JOB NO. 3003
	Scale: 1:1000	Drawn: - JANUARY 2020		



ELGIN STREET





ELGIN STREET



ELGIN STREET

EXISTING ROOF PLAN



SCALE 1: 200

-  BOX GUTTER/ SUMP/ DOWNPIPE LOCATIONS
-  BOX GUTTER FLOWS

ROOF CATCHMENT		AREA/m ²
EXISTING ROOF	METAL DECK ROOFING	254.3
	TERRACE & INNER COURTYARD	81.8
	PITCHED ROOFING	155.4
	CANOPY	57.6
TOTAL		549.1

PROPOSED ROOF PLAN



SCALE 1: 200

-  BOX GUTTER/ SUMP/ DOWNPIPE LOCATIONS
-  BOX GUTTER FLOWS

ROOF CATCHMENT		AREA/m ²
PROPOSED ROOF	METAL DECK ROOFING	313.5
	INNER COURTYARD	22.6
	PITCHED ROOFING	155.4
	CANOPY	57.6
TOTAL		549.1

EXISTING & PROPOSED GROUND FLOOR PLAN

SCALE 1: 200

-  EXISTING UNDERGROUND DRAINAGE PITS
-  EXISTING UNDERGROUND DRAINAGE PIPES

STORMWATER MANAGEMENT PLANS (PLANNING STAGE)	Proposed Alterations to Mixed Use Development at 138-144 Elgin Street, Carlton		Edmond & Corrigan Pty Ltd ACN 006 772 489 676 Drummond Street, Carlton North, VIC 3054 Tel: 9662 2651 Email: edmocorr@netspace.net.au	TP/51 JOB NO. 3003
	Scale: 1:200	Drawn: - JANUARY 2020		

DELEGATE REPORT

PLANNING PERMIT APPLICATION

Application number:	TP-2020-98
Applicant:	Lonam Pty Ltd
Architect:	Edmond & Corrigan Pty Ltd
Address:	138-144 Elgin Street, CARLTON VIC 3053
Proposal:	Partial demolition and buildings and works associated with the construction of a fourth level to the existing building, associated increase in the use of the land for an additional 10 serviced apartments, alteration of services normal to a building
Date of application:	7 February 2020
Responsible officer:	Daniel Sanfilippo

1 SUBJECT SITE AND SURROUNDS

The subject site (the Site) is formally identified as Lot 1 on TP841887V and Lot 1 on TP 676489C.

The site has a total area of 519sqm and is currently developed with a three storey building. The ground level commercial tenancy is currently vacant. The entrance to the serviced apartments is located on the Elgin Street front and twenty-two (22) serviced apartments are located at Level 1 and 2. A communal deck and associated stairwell is located adjacent to the stair well. The site is identified as a Contributory building in the Heritage Places Inventory February 2020 Part A (amended May 2021).



Above: Aerial photograph of subject site (source: Compass)



Above: Photograph of subject site from median strip on Elgin Street

To the west of the site is 146-154 Elgin Street, which is occupied by the Carlton Post Office. This site is identified as significant in the Heritage Places Inventory February 2020 Part A (Amended May 2021).

The building is two-storey with a prominent hipped slate roof, finely detailed on all four facades and has a classical revival form. The building is set back from its boundaries, including a small forecourt on Elgin Street.



Above: Photograph of 146-154 Elgin Street, Carlton

To the east of the site 132 – 136 Elgin Street, which is developed with a two storey building, which has a Contributory grading in the Heritage Places Inventory February 2020 Part A (amended May 2021).

The building is constructed to the common boundary with the subject site. The ground floor is occupied by commercial uses and the upper floor residential.

To the north of the site is Aplin Lane. Located on the northern side of the laneway is 7-29 Little Palmerston Street, Carlton occupied by a three storey apartment building. At the direct interface with the subject site are windows (some with external screening) which are approximately 9.8m from the existing building on the subject site.



Above: Photograph of Aplin Lane looking west from Sutton Place

2 BACKGROUND AND HISTORY

2.1 Pre-application discussions

Pre-application comments were provided in December 2010 (PA-2019-467), which included advice that a quality contextual response to the host building and setting may not disrupt appreciation of the heritage place more than the recent construction. Advice was also given in relation to how the design detail could provide a more contextual response.

2.2 Planning Application History

Planning permit TP-2007-649 was issued at the direction of the Victorian Civil and Administrative Tribunal on 27 August 2009 for buildings and works to the existing building including demolition of the rear and construction of two new levels for 22 student accommodation apartments and a waiver of the car parking requirements in accordance with endorsed plans and subject to conditions.

Planning permit TP-2013-794 was issued by the City of Melbourne on 18 February 2014 for a change of use to serviced apartments with associated reduction to car

parking and removal of the Section 173 Agreement (AG 734662J) in accordance with the endorsed plans.

2.3 Victorian Civil and Administrative Tribunal (VCAT)

A Section 79 appeal against Council's Failure to determine the application within the prescribed time has been lodged by the permit applicant.

Six statements of grounds have been lodged by objectors to the planning permit application.

At the time of writing, the application has been scheduled for a hearing at the Tribunal in July for four days.

3 PROPOSAL

The plans which have been considered in this planning assessment are prepared by Edmond & Corrigan Pty Ltd dated January 2020, plan reference TP27 – TP51.

The proposal is summarised as follows:

Demolition

- Roof of the non-original third level.
- Roof deck.
- Alucobond cladding on the southern elevation of the existing upper levels.
- Hoods to the south facing windows on the existing upper levels.

Addition

- Construction of an additional level containing 10 serviced apartments, with a floor to ceiling height of 2.7m.
- Set back 8.1m from Elgin Street and constructed to the side and rear boundaries.
- No change in the maximum overall height, as the additional is slightly lower (48.68RL) than the existing stairwell (48.82RL).

Alterations

- Render to southern upper floors cementel cladding in 'greyish' and 'blueish'.
- Render to side and rear to match the existing ground floor.



Above: Model prepared by Edmond & Corrigan

4 PLANNING PERMIT TRIGGER

The following clauses in the Melbourne Planning Scheme require a planning permit for this proposal:

Statutory Controls	
Commercial 1 Zone	Pursuant to Clause 34.01-1, a planning permit is required for the proposed use of the land as serviced apartments, as this use is not contained in the list of uses and therefore a Section 2 use. Pursuant to Clause 34.01-4 a planning permit is required for the construction of buildings and works.
Heritage Overlay – Schedule 1	Pursuant to Clause 43.01-1, a permit is required to demolish or remove a building and to construct a building or construct and carry out works.
Parking Overlay – Schedule 12	The overlay is not relevant to the planning permit triggers for the application, as it relates to dwelling use only.

5 STRATEGIC FRAMEWORK

The relevant provisions of the Melbourne Planning Scheme are summarised as follows:

State Planning Policies	<ul style="list-style-type: none"> • Clause 11 – Settlement • Clause 15 – Built Environment and Heritage • Clause 17 – Economic Development • Clause 18 – Transport
Municipal Strategic Statement	<ul style="list-style-type: none"> • Clause 21.04 – Settlement • Clause 21.06 – Built Environment and Heritage • Clause 21.08 – Economic Development • Clause 21.16-3 – Carlton
Local Planning Policies	<ul style="list-style-type: none"> • Clause 22.05 – Heritage Places Outside of the Capital City Zone. • Clause 22.15 – Lygon and Elgin Street Shopping Centre • Clause 22.17 – Urban Design Outside of the Capital City Zone • Clause 22.19 – Energy, Water and Waste Energy • Clause 22.23 – Stormwater Management (WSUD)

Particular Provisions	
Clause 52.06 – Car Parking	Serviced Apartments are not included in Table 1 of Clause 52.06, therefore car parking is to be provided to the satisfaction of the Responsible Authority.

General Provisions	
Clause 53.18 – Stormwater Management	Clause 53.18 requires an application to be accompanied by details of the proposed storm water management system, including

Urban Development	drainage works and retention, detention and discharges of storm water to the drainage system
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6 PUBLIC NOTIFICATION

It was determined that the proposal may result in material detriment. Notice of the proposal was given by ordinary mail to the owners and occupiers of surrounding properties and by posting notices on the site for a 14 day period, in accordance with Section 52 of the *Planning and Environment Act 1987*.

7 OBJECTIONS

A total of 28 objections were received, and raised the following concerns with the proposal:

- Four storey height is not in keeping with character of the area
- Addition will impact on heritage streetscape
- Overlooking to the north
- Visual bulk impact
- Loss of daylight to apartments to the north
- Impact on traffic and car parking
- Proposed south facing windows are unsympathetic to heritage character
- Construction noise

8 CONSULTATION

Given the receipt of the above objections, the following consultation was undertaken:

- Opportunity provided for the permit applicant to respond to the heritage referral comments and objections. No response was provided by the permit applicant and a failure appeal subsequently lodged.

9 REFERRALS

9.1 Internal

The application was referred internally to the following departments and their comments are summarised below:

9.1.1 Traffic

- The increase in 10 dwellings for the use of serviced apartments will typically see a demand for 3 car parking spaces. Support provided for zero parking given the short-term length of accommodation for this development and proximity to alternative transport modes.
- Recommendation for 3 additional bicycle spaces to be provided on-site.
- Support for the proposed loading to be undertaken on Elgin Street.
- Traffic generated by the development will be low and will not have a significant impact on the surrounding road network.

Officers comment

The proposal does not trigger a bicycle provision pursuant to Clause 52.34. The proposed ground floor is sought to be retained, which includes a waste room and bicycle storage at ground floor for the serviced apartments. There is no additional

room to provide 3 additional bicycle spaces, therefore it is not considered practical or reasonable to require an additional three bicycle spaces.

9.1.2 Heritage

The referral comments raised the following concerns

- The proposed addition would exceed the façade height of the Post office by 3.06 metres, at a setback of 7.7m and 8.1m. The proposed setback is insufficient to achieve a streetscape view in which the new building height would be seen as equal to, or not taller than the Post office façade.
- The juxtaposition of a taller building adjoining the 'significant' Post Office building is not consistent with the Purpose and Policy for an adjoining 'Significant' building in Clause 22.05.
- The proposed addition would have a streetscape view which is similar to the height of the elevated stair/lift element. This would appear as an additional floor over the full width of the site. This level of visibility is not consistent with the Purpose and Policy for a contributory building in Clause 22.05.
- At the height proposed, a setback of approximately 19 metres is recommended.
- Proposed changes to façade materials are appropriate.

Officers comment

The referral comments are noted, however it is considered that the proposed height and setbacks provide an appropriate response to Clause 22.05 for the reasons provided at Section 10.1 of this report.

9.1.3 Waste Services

The referral comments raised the following concerns

- Whilst Council currently provides a waste collection service for the serviced apartment component of this development, this is a commercially rated site paying 3 sets of commercial rates. Given the waste generated at this site currently exceeds the amount that entitles it to a Council collection, the Council collection will be revoked upon completion of the addition of the 10 serviced apartments.
- It is a requirement for the development to be serviced by a private operator. Using City of Melbourne waste generation rates results in 1120L garbage and 1120L recycling per week for 32 serviced apartments. The largest bins possible should be used to reduce overall collection times.
- The waste vehicle's truck stopping location is required on a plan.

Officers comment

A condition will be included on the draft conditions provided to the Tribunal which will include a requirement for an updated Waste Management Plan to include private collection. It is noted that Traffic have indicated support for loading on Elgin Street.

9.1.4 ESD

The proposed ESD report and WSUD measures were considered acceptable, no changes required.

The proposed addition is physically separated from the western adjacent significant building, which is set back from the common boundary in the order of 3m, and will continue to allow oblique views of the roof form and chimneys of the significant place.

The proposed maximum overall height of the building will not increase, however the extent of built form will extend across the width of the site. It is considered that the proposed 8.1m front setback will not dominate the host building or adjacent significant and contributory buildings.

The streetscape is not identified as significant within the Heritage Places Inventory, therefore policy encourages the addition to be partly concealed. It is considered that the non-original elements of the building (the two storeys above the existing building) are set back sufficiently to ensure that it does not dominate the host building or adjoining building and will not detract from their prominence in the Elgin street streetscape. The addition has been designed to integrate with the existing stair tower, creating a more cohesive addition.



Above: 3D model prepared by Edmond and Corrigan

The Elgin Street streetscape is varied, with predominantly 1-2 storey original heritage buildings built to the street with single storey additions, however there are two examples of higher built form in Elgin Street including 110-116 Elgin Street (five storeys) and 97- 103 Elgin Street (4 storeys).



Above: Photograph of 110 – 116 Elgin Street, Carlton



Above: Photograph of 97-103 Elgin Street, Carlton

The proposed windows are large openings, which do not reflect the consistent character of the streetscape and existing building on the subject site, which has a fine grain pattern and solidity to the façade. The windows would detract from the character of the existing building and streetscape. Included in the draft conditions provided to the Tribunal will be a requirement to reduce the width of each of the windows to improve the response to the heritage streetscape to the satisfaction of the Responsible Authority.

A condition will also be included which requires physical samples of the material and colours of the addition, to ensure that the colour palette does not conflict or detract from the host building.

Subject to the conditions recommended, the proposed addition meets the policy guidance pursuant to Clause 22.05 of the scheme.

10.2 Built Form Impacts

The proposed additional level responds to the decision guidelines of the Commercial 1 Zone, Clause 21.16-3 'Carlton', Clause 22.15 'Lygon and Elgin Street Shopping Centre' and Clause 22.17 'Urban Design Outside of the Capital City Zone' of the Scheme.

A summary of how the proposal responds to these policies and controls is provided below:

- The proposal does not seek to change the use or layout of the existing ground floor commercial tenancy.
- The additional level will retain the generally low scale nature of the heritage streetscape, which features a predominantly 2-4 storey built form.
- The proposed front setback provides a responsive design to the adjoining heritage buildings and respects the character of the street.
- The proposal includes habitable room windows facing the rear laneway for passive surveillance visual interest. It is noted that the VCAT Order for the

original serviced apartments included a condition to remove screening to the north facing windows to improve the amenity of the habitable room windows, which were greater than 9m from the dwellings on the opposite side of Aplin Place.

- The proposed services are located to the rear of the building on the roof to minimise impact on the Elgin Street streetscape and are screened.
- The proposal would not result in any overshadowing of secluded private open space or habitable room windows.
- The application would not reduce the daylight of the habitable room windows located on the northern side of Aplin Place, due to the orientation of the site and separation of more than 9m.
- 4 of the serviced apartments are orientated to Elgin Street and 5 are orientated to the rear laneway, which provides for appropriate outlook and amenity. A central void also provides for daylight and ventilation.
- There are no eastern facing habitable room windows, which is an appropriate equitable development response to the eastern interface.
- One serviced apartment is proposed to be orientated to the west. Any future development on the western adjacent property is limited due to the significant grading of the building, however should an addition be constructed appropriate separation is provided through the setback proposed and the set back of the existing western adjacent building, which would create a minimum 3 x 1.6m lightcourt. This is acceptable amenity for short term accommodation.

The proposal is considered to provide an appropriate built form response having regard to the relevant controls and policies and context of the site.

10.3 Serviced Apartment Use

The proposed extension of the existing serviced apartments use to include an additional 10 serviced apartments is considered appropriate as follows:

- As provided in Section 10.2 the serviced apartment have an appropriate outlook and amenity for short term accommodation.
- The proposal does not provide any onsite car parking which will encourage the use of sustainable transport options.
- The proposal will continue to provide an activated commercial tenancy at ground floor.
- There are no communal external areas, therefore any residential noise impacts are limited.
- The recommended draft conditions include a requirement to provide an update Waste Management Plan.

11 OFFICER RECOMMENDATION

It is considered that the proposal is consistent with the relevant sections of the Melbourne Planning Scheme, as discussed above, and that a the Tribunal be notified that had a Section 79 appeal against Council's failure to determine the application within the prescribed time, Council would have supported the application subject to the below conditions:

11.1 Conditions

Amended Plans Required

1. Prior to the commencement of the use and development, an electronic set of plans drawn to scale, must be submitted to the Responsible Authority, generally in accordance with the plans prepared by Edmond Corrigan Architects Pty Ltd dated January 2020 but amended to show:
 - a) Reduction in the width of the proposed south facing Level 3 windows, generally in accordance with the windows at Level 2;
 - b) A materials and colours schedule including samples demonstrating a high quality finish to the Level 2 and 3 that will not detract from the original heritage fabric; and
 - c) Amended ground floor plan in accordance with the recommendations contained within the approved Waste Management Plan required by Condition 3.

These amended plans must be to the satisfaction of the Responsible Authority and when approved shall be the endorsed plans of this permit.

Layout not to be altered

2. The development as shown on the endorsed plans must not be altered or modified without the prior written consent of the Responsible Authority.

Serviced Apartment Management Plan

3. Prior to the commencement of the use hereby approved, A Management Plan generally in accordance with the Management Plan required by TP-2013-142 but updated to reflect the additional serviced apartments, must be submitted to and approved by the Responsible Authority. When approved the plan with endorsed and form part of the permit. The Management Plan must ensure that a suitably qualified manager is available at all times and must detail the maintenance, cleaning, supervision and security of the site.

Waste Management Plan

4. Prior to the commencement of the use and development, an amended Waste Management Plan (WMP) shall be prepared, submitted and approved by the Melbourne City Council - Engineering Services. The WMP should detail waste storage and private collection arrangements and be prepared with reference to the Melbourne City Council Guidelines for Preparing a Waste Management Plan. Waste storage and collection arrangements must not be altered without prior consent of the Melbourne City Council - Waste and Recycling.

ESD Statement

5. The performance outcomes specified in the Environmentally Sustainable Design (ESD) Statement prepared by Frater and dated 3 April 2020 must be achieved in the completed development.

Any change during detailed design, which prevents or alters the attainment of the performance outcomes specified in the endorsed ESD Statement, must be documented by the author of the endorsed ESD statement in an addendum to this report, which must be provided to the satisfaction of the Responsible Authority prior to the commencement of construction.

Use and development time limit

6. This permit will expire if one or more of the following circumstances apply:

- a) The development is not started within three years of the date of this permit.
- b) The development is not completed within five years of the date of this permit.
- c) The use is not started within five years of the date of this permit.

The Responsible Authority may extend the permit if a request is made in writing before the permit expires, or within six months afterwards. The Responsible Authority may extend the time for completion of the permit if a request is made in writing within 12 months after the permit expires and the development started lawfully before the permit expired.

Notes:

- This Planning Permit does not represent the approval of other departments of Melbourne City Council or other statutory authorities. Such approvals may be required and may be assessed on different criteria from that adopted for the approval of this Planning Permit.
- This permit does not authorise the commencement of any demolition or construction on the land. Before any demolition or construction may commence, the applicant must apply for and obtain appropriate building approval from a Registered Building Surveyor.
- The applicant/owner will provide a copy of this planning permit and endorsed plans to any appointed Building Surveyor. It is the responsibility of the applicant/owner and the relevant Building Surveyor to ensure that all building (development) works approved by any building permit are consistent with this planning permit.
- All necessary approvals and permits are to be first obtained from the City of Melbourne and the works performed to the satisfaction of the responsible authority – Manager Infrastructure & Assets.
- The development approved under this permit is for a serviced apartment building, and was therefore not considered against the provisions of Clause 58 (Apartment developments) of the Melbourne Planning Scheme. As such, the units of accommodation should not be regarded as 'dwellings'.